

**From:** [Paholke, Kory](#)  
**To:** [Jon Browning](#)  
**Subject:** RE: WBLD18-107459  
**Date:** Tuesday, August 06, 2019 9:37:51 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[16-1945 rev plan.pdf](#)

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Here's the revised plan set.



**Kory Paholke**  
**Building Division | Community Services Department**  
[kpaholke@washoecounty.us](mailto:kpaholke@washoecounty.us) | Office: 775-328-2022  
1001 East 9<sup>th</sup> St., Reno, NV 89512



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**From:** Jon Browning [mailto:Jon@tdg-inc.com]  
**Sent:** Monday, August 5, 2019 5:14 PM  
**To:** Paholke, Kory  
**Subject:** RE: WBLD18-107459

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Thank you! This is awesome. Any chance you can send me the 16-1945 as well. It is another permit for the same project.

**Jon Browning** | (775) 624-7134 | **Tectonics Design Group**

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**From:** Paholke, Kory <KPaholke@washoecounty.us>  
**Sent:** Monday, August 05, 2019 2:35 PM  
**To:** Jon Browning <Jon@tdg-inc.com>  
**Subject:** WBLD18-107459

Second half and revised plan.

**Kory Paholke**  
**Building Division | Community Services Department**  
[kpaholke@washoecounty.us](mailto:kpaholke@washoecounty.us) | Office: 775-328-2022

**From:** [Pelham, Roger](#)  
**To:** [Jon Browning](#)  
**Cc:** [Mike Simmons](#); [Lloyd, Trevor](#)  
**Subject:** RE: Mustang SUP  
**Date:** Tuesday, November 26, 2019 11:31:55 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)

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This looks fine to me.

Please bring these as an exhibit and you can ask the BOA to include these as a revision to the conditions of approval. The BOA will then (probably) ask staff if we are OK with the changes, we are. Thanks.



**Roger Pelham, MPA**

**Senior Planner, Planning and Building Division | Community Services Department**

[rpelham@washoecounty.us](mailto:rpelham@washoecounty.us) | Office: 775.328.3622 | Fax: 775.328.6133

1001 East Ninth Street, Reno, NV 89512



---

**From:** Jon Browning [mailto:Jon@tdg-inc.com]  
**Sent:** Tuesday, November 26, 2019 11:25 AM  
**To:** Pelham, Roger  
**Cc:** Mike Simmons; Lloyd, Trevor  
**Subject:** RE: Mustang SUP

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Roger,

See if this works:

- i. Any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height, after application of topsoil shall be spaced approximately 15 feet from any other any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height.
- j. Any combination of boulders (24" or greater in size), not to exceed a total of four boulders (24" or greater in size) may be placed in a cluster to mimic natural rock outcroppings. Clustering of boulders shall not result in more than 45 boulders (24" or greater in size), remaining partially exposed, greater than 12" in height, in any 10,000 sf area. Clusters shall not be located within 25 feet of each other.

**Jon Browning** | (775) 624-7134 | **Tectonics Design Group**

---

**From:** Pelham, Roger <RPelham@washoecounty.us>  
**Sent:** Tuesday, November 26, 2019 11:21 AM  
**To:** Jon Browning <Jon@tdg-inc.com>  
**Cc:** Mike Simmons <mikes@scannellproperties.com>; Lloyd, Trevor <TLloyd@washoecounty.us>  
**Subject:** RE: Mustang SUP

Ok. Please send over what you would like the final language to be, and I will take a look.



**Roger Pelham, MPA**  
**Senior Planner, Planning and Building Division | Community Services Department**  
[rpelham@washoecounty.us](mailto:rpelham@washoecounty.us) | Office: 775.328.3622 | Fax: 775.328.6133  
1001 East Ninth Street, Reno, NV 89512



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**From:** Jon Browning [<mailto:Jon@tdg-inc.com>]  
**Sent:** Tuesday, November 26, 2019 10:29 AM  
**To:** Pelham, Roger  
**Cc:** Mike Simmons; Lloyd, Trevor  
**Subject:** RE: Mustang SUP

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Roger,

I still would like to see if we can change the boulder language per our previous conversation, I am good with the 25 feet as suggested:

- i. Any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height, after application of topsoil shall be spaced approximately 15 feet from any other any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height. **Comment: Changing "at least" to "approximately". I am comfortable with this, it provides a small amount of discretion during inspection.**
- j. Any combination of boulders (24" or greater in size), not to exceed a total of four boulders (24" or greater in size) may be placed in a cluster to mimic natural rock outcroppings. Clustering of boulders shall not result in more than 45 boulders (24" or greater in size), remaining partially exposed, greater than 12" in height, in any 10,000 sf area. **Comment: I think that this can work, if we add a minimum distance between clusters of boulders. What do you think of "approximately 25 feet" ?**

Other than that I think we are good to go on this.

Thank You!

**Jon Browning** | (775) 624-7134 | **Tectonics Design Group**

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**From:** Pelham, Roger <[RPelham@washoecounty.us](mailto:RPelham@washoecounty.us)>

**Sent:** Monday, November 25, 2019 3:04 PM

**To:** Jon Browning <[Jon@tdg-inc.com](mailto:Jon@tdg-inc.com)>

**Cc:** Mike Simmons <[mikes@scannellproperties.com](mailto:mikes@scannellproperties.com)>; Lloyd, Trevor <[TLloyd@washoecounty.us](mailto:TLloyd@washoecounty.us)>

**Subject:** RE: Mustang SUP

The BOA will meet on 12/5 at 1:30PM, here at the County Complex.

The staff report is not yet posted to the website, but the relevant conditions follow:

- a. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- b. All disturbed areas shall be returned to a natural contour that mimics the adjacent undisturbed area. Grading in all disturbed areas shall include varying curvilinear contours.
- c. All disturbed areas shall be revegetated with native plant material.
- d. All piles of rocks and boulders shall be treated with topsoil and revegetated in accordance with the revised landscape plans submitted by the applicant on November 4, 2019 (Sheet L-1 and L-2 by L.A. Studio Nevada, dated 10/30/19).
- e. The revised landscape plans submitted by the applicant on November 4, 2019 (Sheet L-1 and L-2 by L.A. Studio Nevada, dated 10/30/19) do not call for irrigation of areas to be revegetated ("dryland revegetation").
- i. The applicant may provide Washoe County with financial assurances equal to 120% of cost of installation of temporary irrigation and may attempt dryland revegetation for 24 months from the completion of earthwork to comply with this special use permit.
- ii. The applicant shall call Washoe County for inspection of revegetation 24 months after application.
- iii. At the end of 24 months, if vegetation throughout the revegetation and rock pile areas is equal to, or greater than, 50% of the vegetation on the adjacent, undisturbed slopes, then revegetation is successful.
- iv. At the end of 24 months, if vegetation throughout the revegetation and rock pile areas is less than, 50% of the vegetation on the adjacent, undisturbed slopes, then revegetation is unsuccessful.
- v. If revegetation is unsuccessful the applicant shall install temporary irrigation throughout the entire revegetation area for a time period of not less than three years.
- vi. The applicant shall call Washoe County for inspection of revegetation 36 months after installation of temporary irrigation throughout the entire revegetation area. The same standards for revegetation shall apply as in Condition # 1(e)(iii) and (iv). If revegetation is unsuccessful temporary

irrigation shall be maintained for a further three years.

f. After application of topsoil, a minimum of 40% of the rock pile areas shall be covered with topsoil. Not more than 60% of the rock pile areas shall be comprised of exposed rocks or boulders.

g. All rocks remaining partially exposed after application of topsoil shall be 12" or less in height above the adjacent topsoil.

h. Boulders (24" or greater in size) may remain exposed greater than 12" in height if they are distributed throughout the project area in a random manner that mimics the surrounding, natural, undisturbed area.

i. Any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height, after application of topsoil shall be spaced at least 15 feet from any other any single boulder (24" or greater in size) remaining partially exposed, greater than 12" in height.

j. Any combination of boulders (24" or greater in size), not to exceed a total of four boulders (24" or greater in size) may be placed in a cluster to mimic natural rock outcroppings. Any cluster of boulders (24" or greater in size) shall be spaced at least 45 feet from any other cluster of boulders (24" or greater in size) and shall be spaced at least 15 feet from any single boulder (24" or greater in size) remaining partially exposed.

k. Revegetation with native plant material is required between all boulders and rocks.

l. All rocks and boulders remaining partially exposed and all rip-rap slopes shall be treated with a permanent simulated desert varnish to mimic the color of weathered boulders in the surrounding, undisturbed, areas.

m. The applicant shall demonstrate conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.

n. Detailed and accurate grading plans must be submitted and approved by Washoe County prior to any additional work on the subject site.

o. The applicant shall submit construction and grading plans, with all information necessary for a complete and comprehensive review by Washoe County, and building permits shall be issued within six months from the date of approval by Washoe County. The applicant shall complete construction and grading prior to the approval of any certificate of occupancy on the subject site. Compliance with this condition shall be determined by the Planning and Building Division.

p. A note shall be placed on all construction drawings and grading plans stating:

**NOTE**

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

q. Small rocks shall be placed within all voids between the larger rocks that make up the rip-rap slope to reduce undermining by small animals.



**Roger Pelham, MPA**

**Senior Planner, Planning and Building Division | Community Services Department**

[rpelham@washoecounty.us](mailto:rpelham@washoecounty.us) | Office: 775.328.3622 | Fax: 775.328.6133

1001 East Ninth Street, Reno, NV 89512



**From:** Jon Browning [<mailto:Jon@tdg-inc.com>]  
**Sent:** Monday, November 25, 2019 3:00 PM  
**To:** Pelham, Roger  
**Cc:** Mike Simmons  
**Subject:** Mustang SUP

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Roger,

I got your message about any last requests. Can you send us the draft staff report as it currently stands so we can give it one last look? Also, can you confirm the time and location for the meeting?

Thank you!

**Jon Browning, PE** | Project Engineer | **Tectonics Design Group**

730 Sandhill Rd, Suite 250 | Reno, Nevada 89521

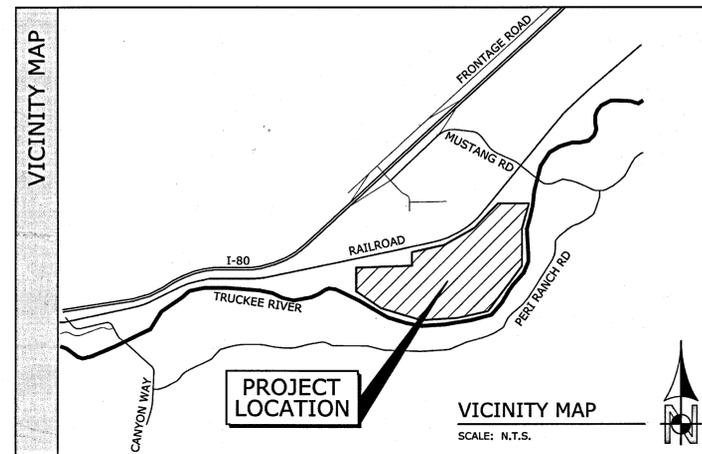
Direct | (775) 624-7134 | [www.tectonicsdesigngroup.com](http://www.tectonicsdesigngroup.com)

# MUSTANG INDUSTRIAL DEVELOPMENT

SPEC Building - SITE IMPROVEMENT PLANS  
 12475 MUSTANG ROAD, SPARKS, NV 89434  
 APN 084-370-07

16-1945

DRAWING INDEX	DRAWING	DESCRIPTION
CIVIL	PS.1	PROJECT INFORMATION, DRAWING INDEX, VICINITY MAP, DESIGN TEAM
	C0.1	SHEET INDEX
	C1.1	DEMO PLAN
	C2.1	SITE PLAN - WEST
	C2.2	SITE PLAN - NORTH
	C2.3	SITE PLAN - SOUTH
	C2.4	SITE PLAN - EAST
	C3.1	GRADING PLAN - WEST
	C3.2	GRADING PLAN - NORTH
	C3.3	GRADING PLAN - SOUTH
	C3.4	GRADING PLAN - EAST
	C3.5	GRADING DETAILS & CROSS SECTIONS
	C4.1	UTILITY PLAN - WEST
	C4.2	UTILITY PLAN - NORTH
	C4.3	UTILITY PLAN - SOUTH
	C4.4	UTILITY PLAN - EAST
	C5.1	BMP PLAN
	C6.1	GENERAL NOTES, ABBREVIATIONS, LEGEND
	C6.2	CONSTRUCTION DETAILS
	C6.3	CONSTRUCTION DETAILS
	C6.4	CONSTRUCTION DETAILS
C6.5	CONSTRUCTION DETAILS	
C6.6	CONSTRUCTION DETAILS	
C6.7	CONSTRUCTION DETAILS	
C7.1	FIRE CIRCULATION PLAN	



**PROJECT INFO**

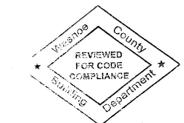
**BASIS OF BEARINGS**  
 NEVADA STATE PLANE COORDINATES, WEST ZONE, NAD83, U.S. SURVEY FEET (GROUND).

**BASIS OF ELEVATION**  
 NAVD83, U.S. SURVEY FEET. ALL GPS POINTS ADJUSTED HORIZONTALLY TO NGS MONUMENT "TANG RESET" & VERTICALLY TO NGS MONUMENT "N 374", WHICH HAS A PUBLISHED ELEVATION OF 4376.39 FEET.

**DESIGN TEAM**

**Client:**  
 SCANNELL PROPERTIES  
 821 Meander Court, Suite 200  
 Medina, Minnesota 55340

**Civil Engineer:**  
 TECTONICS DESIGN GROUP  
 730 Sandhill Road, Suite 250  
 Reno, Nevada 89521  
 (775) 824-9988 Fax: (775) 824-9986  
 Attn: Matt Rasmussen, P.E.



WASHOE COUNTY BUILDING DEPT.  
 OFFICE COPY

**REVISED**  
 SEP 27 2018

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DRAWN: J.P.B. / W.T.G.  
 DESIGNED: J.P.B.  
 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STAMP: MATTHEW RASMUSSEN, Exp. 12-31-19, CIVIL, No. 16258, NV, 09/26/18

**TECTONICS DESIGN GROUP**

730 Sandhill Rd., # 250, Reno, Nevada 89521  
 tel 775-824-9988  
 fax 775-824-9986  
 www.tectonicsdesigngroup.com

**MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV

**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: # 18091

DATE: 06/14/16  
 09/26/18

SUBMITTAL RECORD: SUBMITTAL SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

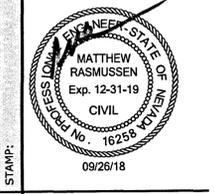
SHEET TITLE: PROJECT INFORMATION, DRAWING INDEX, VICINITY MAP, DESIGN TEAM

SHEET: PS.1

16-1945

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DRAWN: J.P.B. / W.T.G.  
 DESIGNED: J.P.B.  
 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.



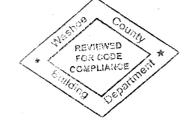
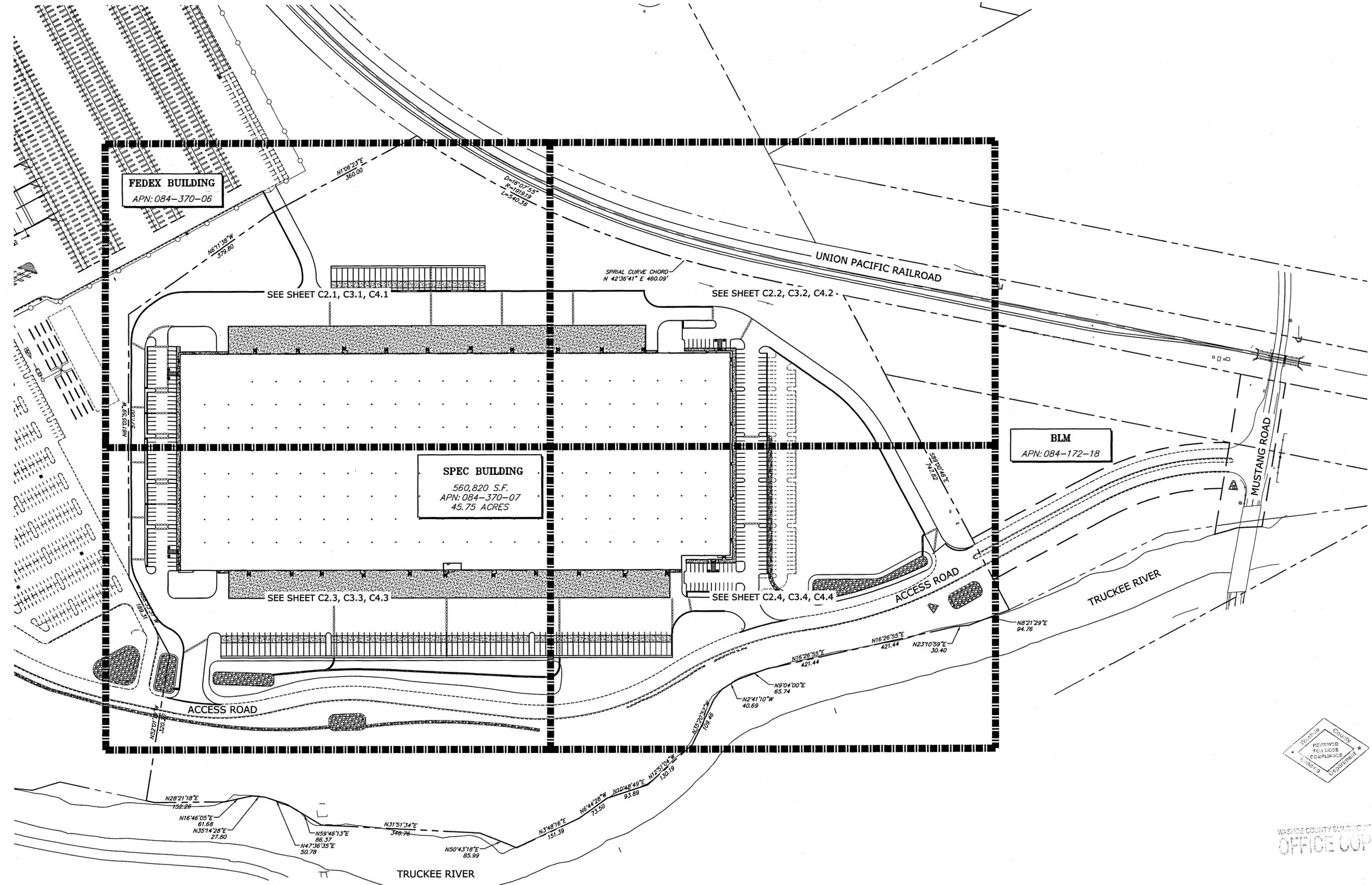
DESIGNER: **TECTONICS DESIGN GROUP**  
 730 Sandhill Rd., #250, Reno, Nevada 89521  
 tel: 775-824-9988  
 fax: 775-824-9986  
 www.tectonicsdesigngroup.com

PROJECT/CLIENT: **MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

DATE: 06/14/16  
 09/26/18

SUBMITTAL RECORD: SUBMITTAL DATE: 09/26/18  
 SUBMITTAL DESCRIPTION: SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

SHEET TITLE: SHEET INDEX  
**C0.1**



WASHOE COUNTY BUILDING DEPARTMENT  
 OFFICE COPY

**REVISED**  
 SEP 27 2018

SHEET INDEX  
 SCALE: 1" = 100'-0"



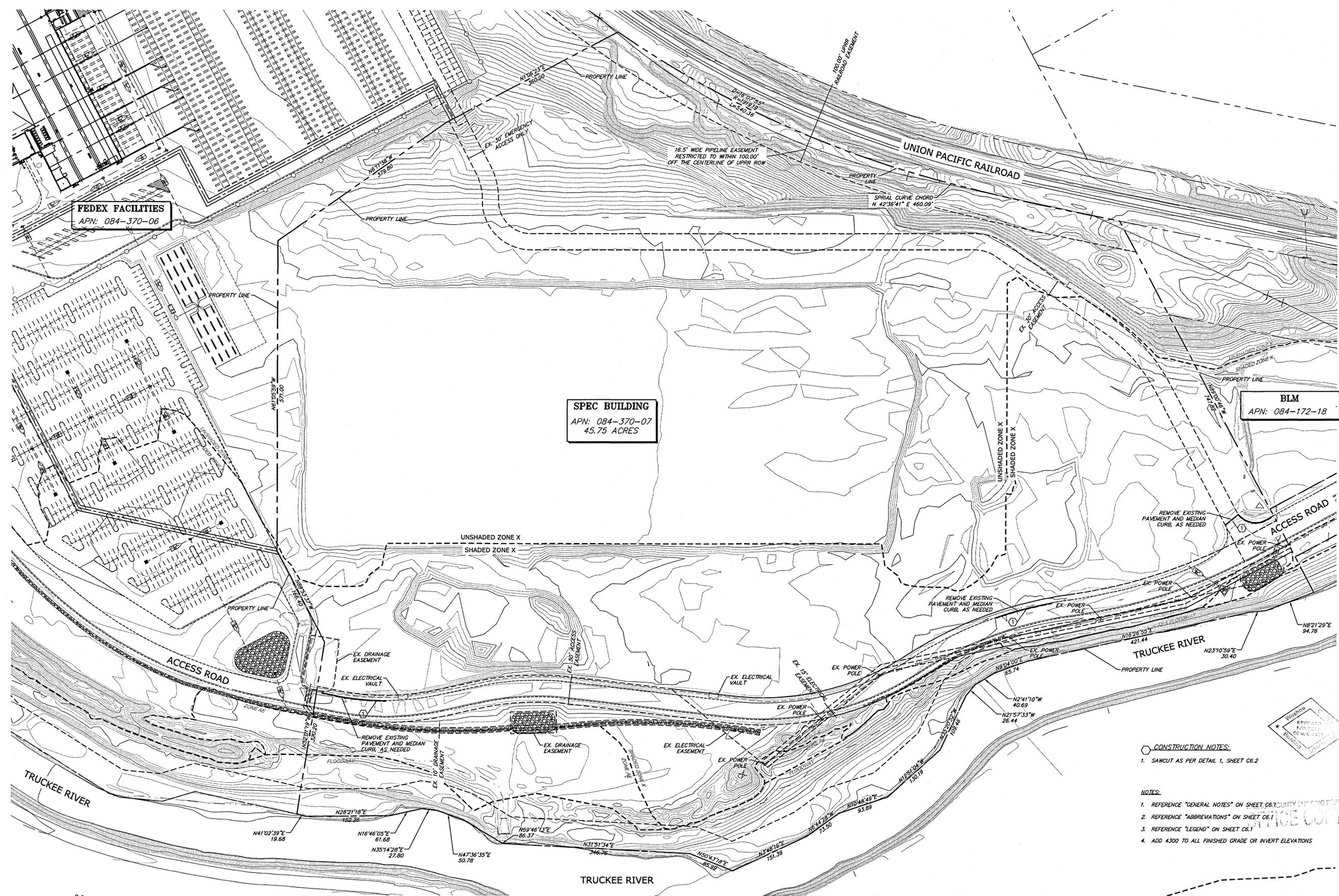
1"=100'-0" MUSTANG INDUSTRIAL PARK 18122.C02  
 2 DAYS BEFORE YOU DIG CALL USA TOLL FREE 1-800-227-2600



1"=80'-0" MUSTANG INDUSTRIAL PARK 18122.C11



2 DAYS BEFORE YOU DIG CALL USA TOLL FREE 1-800-227-2600



**FEDEX FACILITIES**  
APN: 084-370-06

**SPEC BUILDING**  
APN: 084-370-07  
45.75 ACRES

**BLM**  
APN: 084-172-18

**CONSTRUCTION NOTES:**

1. SAWCUT AS PER DETAIL 1, SHEET C6.2

**NOTES:**

1. REFERENCE "GENERAL NOTES" ON SHEET C6/COUNTY ENGINEERING DEPT.
2. REFERENCE "ABBREVIATIONS" ON SHEET C6.1
3. REFERENCE "LEGEND" ON SHEET C6.1
4. ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS

**REVISED**  
SEP 27 2018

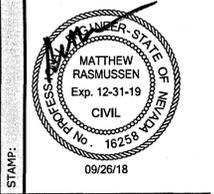
**DEMOLITION PLAN**

SCALE: 1" = 80'-0"



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DRAWN: J.P.B. / W.T.G.  
DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

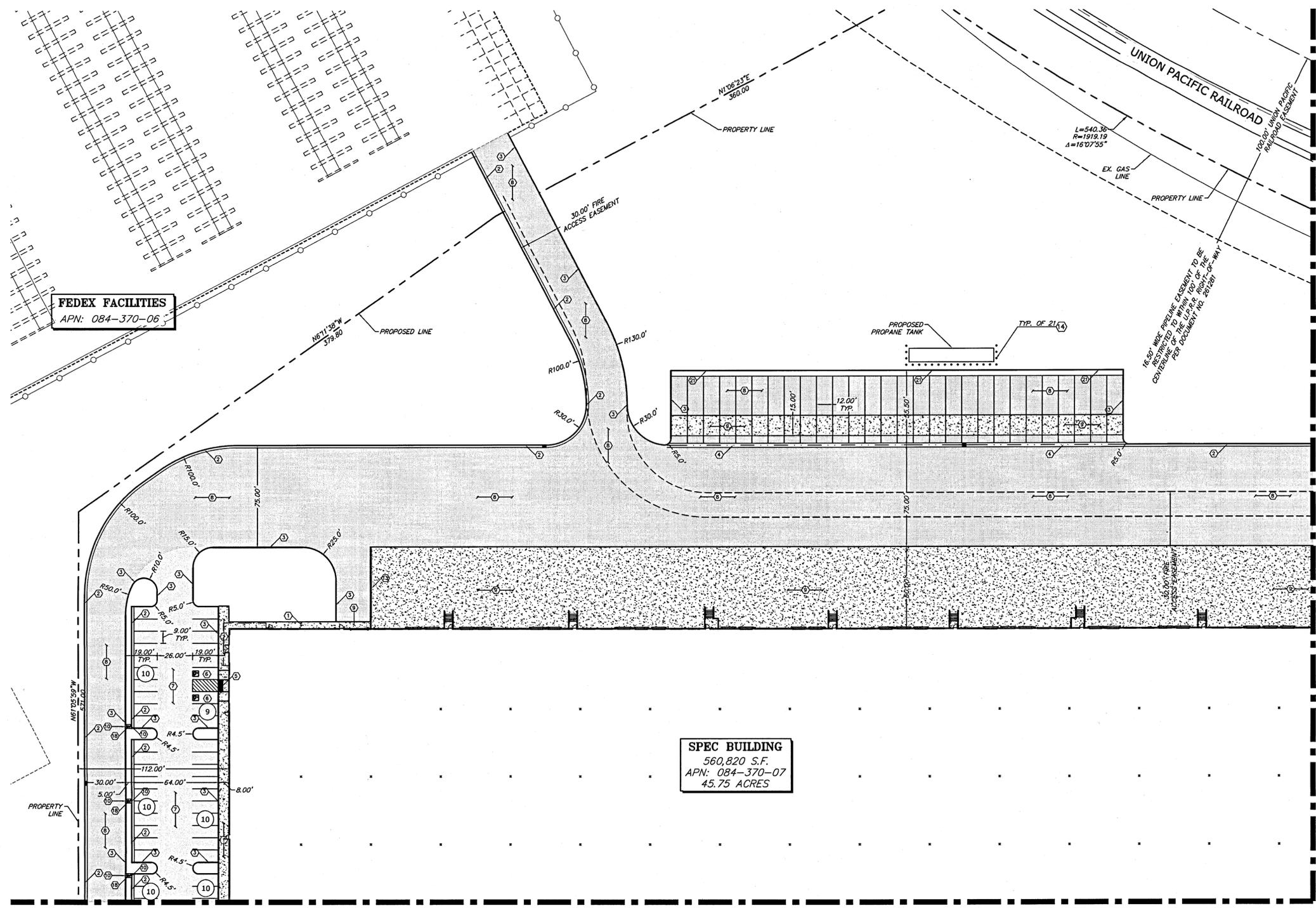


**TECTONICS DESIGN GROUP**  
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**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: MUSTANG INDUSTRIAL DEVELOPMENT  
DATE: 06/14/16  
SUBMITTAL RECORD: 09/26/18  
SHEET TITLE: DEMO PLAN

**C1.1**



- NOTES:**
- PERMANENT STRIPING AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - PARKING SPACE LINES SHALL BE 4-INCH WIDE, YELLOW STRIPES.
  - HANDICAP PARKING SPACES SHALL BE MARKED WITH A PAINTED BLUE FIELD 48-INCHES SQUARE CONTAINING A PAINTED WHEELCHAIR SYMBOL.
  - HANDICAP PARKING AISLE LINES SHALL HAVE 4-INCH WIDE, YELLOW STRIPES AT A 45 DEGREE ANGLE AND AT 18-INCHES ON CENTER.
  - PARKING STALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. AND SECTION 330 OF THE "ORANGE BOOK."
  - ALL EXTERIOR CONCRETE EXPOSED TO FREEZING AND THAWING CONDITIONS SHOULD BE RATED AT 4,000 PSI MINIMUM
  - REFERENCE "GENERAL NOTES" ON SHEET C6.1
  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  - REFERENCE "LEGEND" ON SHEET C6.1
  - DISTURBED AREAS SHALL BE STABILIZED SUCH THAT THERE IS NO RUN-OFF INTO THE TRUCKEE RIVER, AND SUCH THAT DUST IS CONTROLLED ON SITE

- CONSTRUCTION NOTES:**
- CONSTRUCT TYPICAL SIDEWALK AS PER DETAIL 2, SHEET C6.2
  - CONSTRUCT CURB & GUTTER AS PER DETAIL 7, SHEET C6.2
  - CONSTRUCT TYPE I MEDIAN CURB PER DETAIL 8, SHEET C6.2
  - CONSTRUCT 3" VALLEY GUTTER AS PER DETAIL 7, SHEET C6.5
  - CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP AS PER DETAIL 3, DETAIL 4 AND DETAIL 5, SHEET C6.2
  - INSTALL HANDICAP PARKING STALL AND SIGNAGE AS PER DETAIL 1, SHEET C6.3 AND WHEEL STOPS AS PER DETAIL 8 & 9, SHEET C6.3
  - CONSTRUCT AUTOMOBILE ASPHALT SECTION AS PER DETAIL 3B, SHEET C6.3
  - CONSTRUCT HEAVY ASPHALTIC PAVEMENT SECTION AS PER DETAIL 3, SHEET C6.3
  - CONSTRUCT TRUCK DOCK CONCRETE PAD AND DOLLY PAD WITH #4 AT 24" O.C. EACH WAY AS PER DETAIL 4, SHEET C6.3. SAW JOINTS @ 3.0' O.C. AND DOBEL JOINTS EVERY OTHER JOINT AS PER DETAIL 8 & 9. INSTALL EXPANSION JOINT AT BUILDING AS PER DETAIL 7, SHEET C6.3
  - CONSTRUCT CURB OPENING AND PER DETAIL 5 SHEET C6.4
  - CONSTRUCT CONCRETE STOOP AS PER DETAIL 8, SHEET C6.7
  - CONSTRUCT PAVEMENT PATCH AS PER DETAIL 7 & DETAIL 8, SHEET C6.4
  - CONSTRUCT DOCK WALL, SEE STRUCTURAL PLANS
  - CONSTRUCT 6" PIPE BOLLARD AS PER DETAIL 6, SHEET C6.3
  - SECURITY FENCE, SEE ARCHITECTURAL PLANS
  - CONSTRUCT RIPRAP CHANNEL. SEE GRADING PLANS FOR DETAILS
  - INSTALL TYPE R1-1 30" STOP SIGN AS PER DETAIL 2 & DETAIL 5, SHEET C6.3. INSTALL 24" WIDE WHITE PAINTED STOP BAR AND INSTALL 4" WIDE PAINTED STRIPE AS PER M.U.T.C.D. STANDARDS. ENGINEER TO LOCATE IN FIELD PRIOR TO CONSTRUCTION
  - CONSTRUCT GROUDED RIPRAP CHANNEL PER DETAIL 2 SHEET C6.4. SEE GRADING PLANS FOR DETAILS
  - NOT USED
  - NOT USED
  - CONSTRUCT CURB WITH 4" GUTTER AS PER DETAIL 8, SHEET C6.5

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Drawn: J.P.B. / W.T.G.  
 Designer: J.P.B.  
 Checked/Stamped: MATT K. RASMUSSEN, P.E.

Professional Engineer Seal: MATTHEW RASMUSSEN, CIVIL, Exp. 12-31-19, No. 16255, State of Nevada, 09/26/18

**TECTONICS DESIGN GROUP**

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 www.tectonicsdesigngroup.com

**MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV

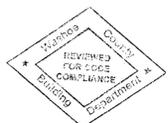
**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

Project/Client: #181091  
 Date: 06/14/16  
 09/26/18

Submittal: SUBMITTAL SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

PROJECT LEGEND	
A.P.N.:	084-370-07
PARCEL ZONING:	INDUSTRIAL
PARCEL SIZE:	45.75 ACRES
<b>PARKING:</b>	
BUILDING (560,820 S.F.):	
OFFICE (15,000/250)	= 60 SPACES
WAREHOUSE (245,820/4000)	= 137 SPACES
TOTAL PARKING REQUIRED:	= 197 SPACES
<b>HANDICAP PARKING REQUIREMENTS:</b>	
1:25 FOR FIRST 100	= 4 SPACES
1:50 FOR SECOND 100	= 2 SPACES
TOTAL HANDICAP PARKING REQUIRED	= 6 SPACES
STANDARD PARKING PROVIDED	= 218 SPACES
HANDICAP PARKING PROVIDED:	
VAN (WITH 8' MIN ACCESS)	= 8 SPACES
TOTAL SPACES PROVIDED:	= 226 SPACES
TRAILER PARKING:	= 108 TRAILER STALLS

**REVISED**  
 SEP 27 2018



**WEST - SITE PLAN**  
 SCALE: 1" = 40'-0"



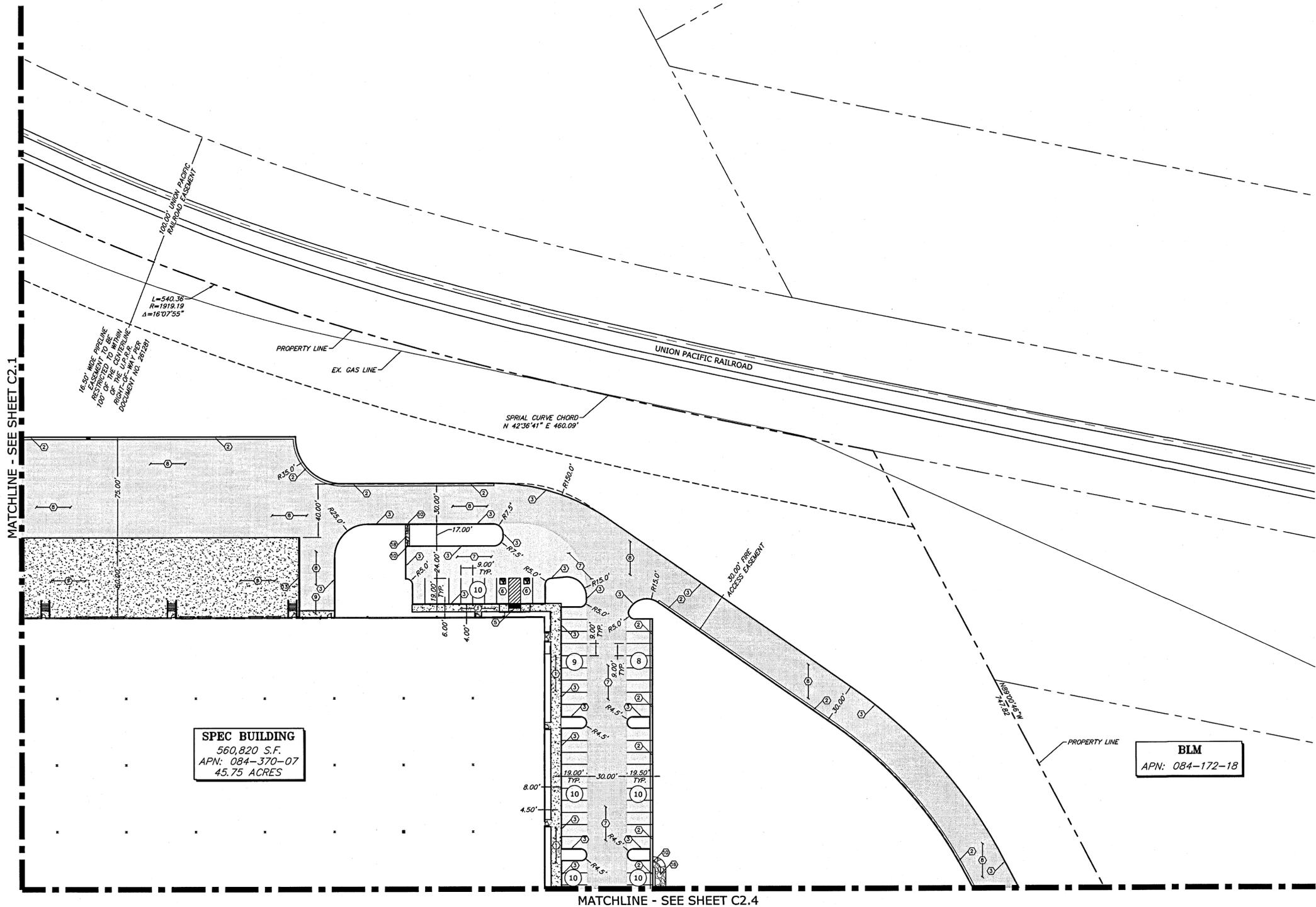
MATCHLINE - SEE SHEET C2.3

MATCHLINE - SEE SHEET C2.2

1"=40'-0" MUSTANG INDUSTRIAL PARK 18122-C21



1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C22



SPEC BUILDING  
560,820 S.F.  
APN: 084-370-07  
45.75 ACRES

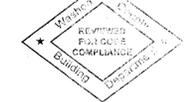
BLM  
APN: 084-172-18

NORTH - SITE PLAN  
SCALE: 1" = 40'-0"



- NOTES:**
- PERMANENT STRIPING AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - PARKING SPACE LINES SHALL BE 4-INCH WIDE, YELLOW STRIPES.
  - HANDICAP PARKING SPACES SHALL BE MARKED WITH A PAINTED BLUE FIELD 48-INCHES SQUARE CONTAINING A PAINTED WHITE WHEELCHAIR SYMBOL.
  - HANDICAP PARKING AISLE LINES SHALL HAVE 4-INCH WIDE, YELLOW STRIPES AT A 45 DEGREE ANGLE AND AT 18-INCHES ON CENTER.
  - PARKING STALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. AND SECTION 330 OF THE "ORANGE BOOK."
  - ALL EXTERIOR CONCRETE EXPOSED TO FREEZING AND THAWING CONDITIONS SHOULD BE RATED AT 4,000 PSI MINIMUM
  - REFERENCE "GENERAL NOTES" ON SHEET C6.1
  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  - REFERENCE "LEGEND" ON SHEET C6.1
  - DISTURBED AREAS SHALL BE STABILIZED SUCH THAT THERE IS NO RUN-OFF INTO THE TRUCKEE RIVER, AND SUCH THAT DUST IS CONTROLLED ON SITE.

- CONSTRUCTION NOTES:**
- CONSTRUCT TYPICAL SIDEWALK AS PER DETAIL 2, SHEET C6.2
  - CONSTRUCT CURB & GUTTER AS PER DETAIL 7, SHEET C6.2
  - CONSTRUCT TYPE 1 MEDIAN CURB PER DETAIL 8, SHEET C6.2
  - CONSTRUCT 3" VALLEY GUTTER AS PER DETAIL 7, SHEET C6.5
  - CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP AS PER DETAIL 3, DETAIL 4 AND DETAIL 5, SHEET C6.2
  - INSTALL HANDICAP PARKING STALL AND SIGNAGE AS PER DETAIL 1, SHEET C6.3 AND WHEEL STOPS AS PER DETAIL 6, SHEET C6.7
  - CONSTRUCT AUTOMOBILE ASPHALT SECTION AS PER DETAIL 3B, SHEET C6.3
  - CONSTRUCT HEAVY ASPHALTIC PAVEMENT SECTION AS PER DETAIL 3, SHEET C6.3
  - CONSTRUCT TRUCK DOCK CONCRETE PAD AND DOLLY PAD WITH #4 AT 24" O.C. EACH WAY AS PER DETAIL 4, SHEET C6.3. SAW JOINTS @13.0' O.C. AND DOWEL JOINTS EVERY OTHER JOINT AS PER DETAIL 8 & 9, INSTALL EXPANSION JOINT AT BUILDING AS PER DETAIL 7, SHEET C6.3
  - CONSTRUCT CURB OPENING AND PER DETAIL 5 SHEET C6.4
  - CONSTRUCT CONCRETE STOOP AS PER DETAIL 8, SHEET C6.7
  - CONSTRUCT PAVEMENT PATCH AS PER DETAIL 7 & DETAIL 8, SHEET C6.4
  - CONSTRUCT DOCK WALL, SEE STRUCTURAL PLANS
  - CONSTRUCT 6" PIPE BOLLARD AS PER DETAIL 6, SHEET C6.3.
  - SECURITY FENCE, SEE ARCHITECTURAL PLANS
  - CONSTRUCT RIPRAP CHANNEL SEE GRADING PLANS FOR DETAILS
  - INSTALL TYPE R1-1 30" STOP SIGN AS PER DETAIL 2 & DETAIL 5, SHEET C6.3. INSTALL 24" WIDE WHITE PAINTED STOP BAR AND INSTALL 4" WIDE PAINTED STRIPE AS PER M.U.T.C.D. STANDARDS. ENGINEER TO LOCATE IN FIELD PRIOR TO CONSTRUCTION
  - CONSTRUCT GROUTED RIPRAP CHANNEL PER DETAIL 2 SHEET C6.4. SEE GRADING PLANS FOR DETAILS
  - NOT USED
  - NOT USED
  - CONSTRUCT CURB WITH 4" GUTTER AS PER DETAIL 8, SHEET C6.5



WASHINGTON COUNTY SUBMITTAL OFFICE COPY

REVISED  
SEP 27 2018

PROJECT LEGEND	
A.P.N.:	084-370-07
PARCEL ZONING:	INDUSTRIAL
PARCEL SIZE:	45.75 ACRES
<b>PARKING:</b>	
BUILDING (560,820 S.F.):	
OFFICE (15,000/250)	= 60 SPACES
WAREHOUSE (545,820/4000)	= 137 SPACES
TOTAL PARKING REQUIRED:	= 197 SPACES
<b>HANDICAP PARKING REQUIREMENTS:</b>	
1:25 FOR FIRST 100	= 4 SPACES
1:50 FOR SECOND 100	= 2 SPACES
TOTAL HANDICAP PARKING REQUIRED	= 6 SPACES
STANDARD PARKING PROVIDED	= 218 SPACES
<b>HANDICAP PARKING PROVIDED:</b>	
VAN (WITH 8' MIN ACCESS)	= 8 SPACES
TOTAL SPACES PROVIDED:	= 226 SPACES
TRAILER PARKING:	= 108 TRAILER STALLS

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DRAWN: J.P.B. / W.T.G.  
DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.  
STAMP: MATTHEW RASMUSSEN  
Exp. 12-31-19  
CIVIL  
License No. 16258  
09/26/18

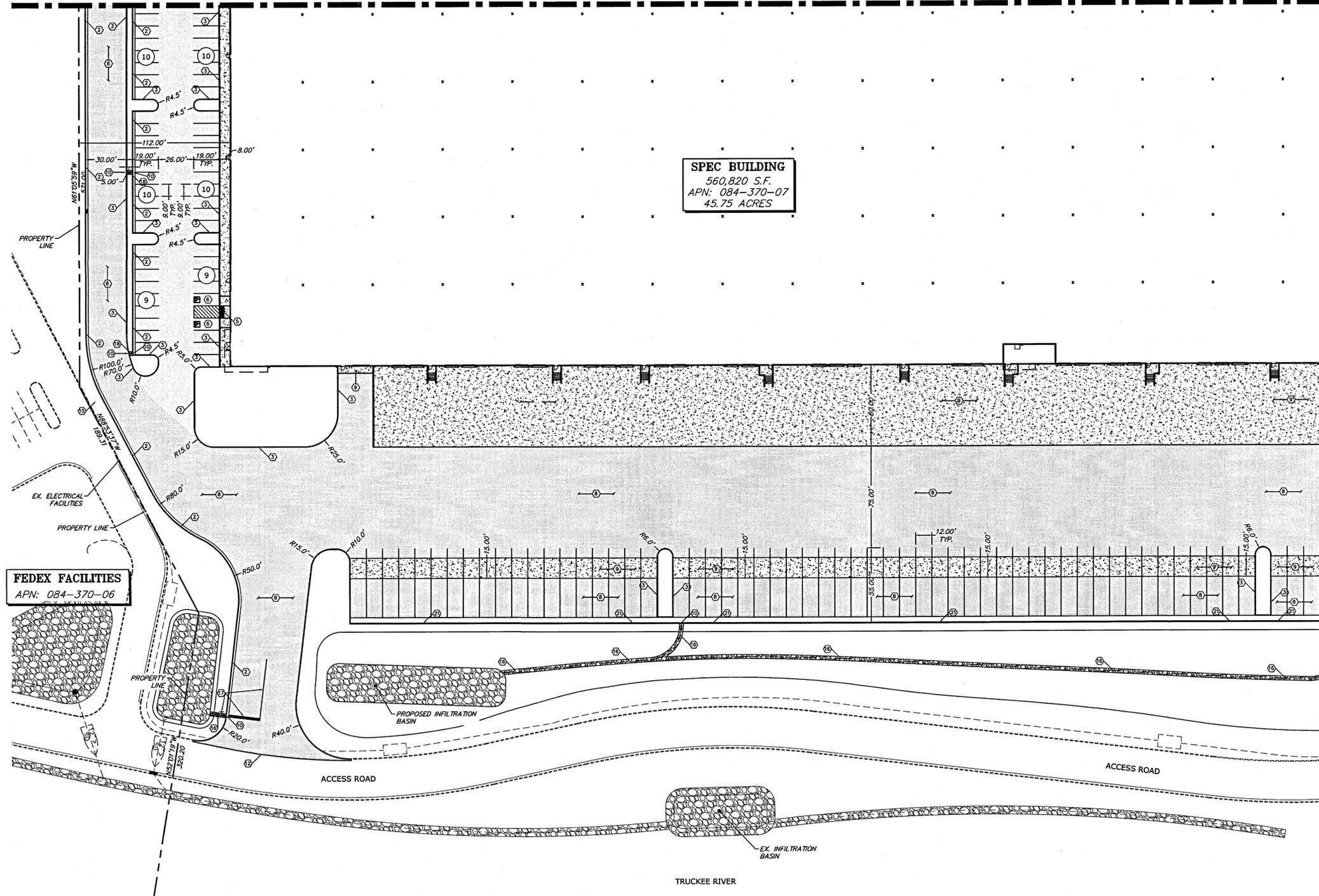
**TECTONICS DESIGN GROUP**  
730 Sandhill Rd., #250, Reno, Nevada 89521  
tel 775-824-9988  
fax 775-824-9986  
www.tectonicsdesigngroup.com

PROJECT/CLIENT:  
# 18091  
**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
Scannell Properties  
821 Meander Court, Suite 200, Medina, Minnesota 55540

DATE: 06/14/16  
09/26/18  
SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

SUBMITTAL RECORD:  
SHEET TITLE:  
SHEET: NORTH - SITE PLAN  
C2.2

MATCHLINE - SEE SHEET C2.1



**SPEC BUILDING**  
560,820 S.F.  
APN: 084-370-07  
45.75 ACRES

**FEDEX FACILITIES**  
APN: 084-370-06

- NOTES:**
- PERMANENT STRIPING AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - PARKING SPACE LINES SHALL BE 4-INCH WIDE, YELLOW STRIPES.
  - HANDICAP PARKING SPACES SHALL BE MARKED WITH A PAINTED BLUE FIELD 48-INCHES SQUARE CONTAINING A PAINTED WHEELCHAIR SYMBOL.
  - HANDICAP PARKING AISLE LINES SHALL HAVE 4-INCH WIDE, YELLOW STRIPES AT A 45 DEGREE ANGLE AND AT 18-INCHES ON CENTER.
  - PARKING STALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. AND SECTION 330 OF THE "ORANGE BOOK."
  - ALL EXTERIOR CONCRETE EXPOSED TO FREEZING AND THAWING CONDITIONS SHOULD BE RATED AT 4,000 PSI MINIMUM
  - REFERENCE "GENERAL NOTES" ON SHEET C6.1
  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
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  - DISTURBED AREAS SHALL BE STABILIZED SUCH THAT THERE IS NO RUN-OFF INTO THE TRUCKEE RIVER, AND SUCH THAT DUST IS CONTROLLED ON SITE.

- CONSTRUCTION NOTES:**
- CONSTRUCT TYPICAL SIDEWALK AS PER DETAIL 2, SHEET C6.2
  - CONSTRUCT CURB & GUTTER AS PER DETAIL 7, SHEET C6.2
  - CONSTRUCT TYPE I MEDIAN CURB PER DETAIL 8, SHEET C6.2
  - CONSTRUCT 3" VALLEY GUTTER AS PER DETAIL 7, SHEET C6.5
  - CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP AS PER DETAIL 3, DETAIL 4 AND DETAIL 5, SHEET C6.2
  - INSTALL HANDICAP PARKING STALL AND SIGNAGE AS PER DETAIL 1, SHEET C6.3 AND WHEEL STOPS AS PER DETAIL 6, SHEET C6.7
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  - CONSTRUCT HEAVY ASPHALTIC PAVEMENT SECTION AS PER DETAIL 3, SHEET C6.3
  - CONSTRUCT TRUCK DOCK CONCRETE PAD AND DOLLY PAD WITH #4 AT 24" O.C. EACH WAY AS PER DETAIL 4, SHEET C6.3. SAW JOINTS @ 13.0' O.C. AND DOWEL JOINTS EVERY OTHER JOINT AS PER DETAIL 8 & 9, INSTALL EXPANSION JOINT AT BUILDING AS PER DETAIL 7, SHEET C6.3
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  - CONSTRUCT CONCRETE STOOP AS PER DETAIL 8, SHEET C6.7
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  - CONSTRUCT RIPRAP CHANNEL SEE GRADING PLANS FOR DETAILS
  - INSTALL TYPE R1-1 30" STOP SIGN AS PER DETAIL 2 & DETAIL 5, SHEET C6.3. INSTALL 24" WIDE WHITE PAINTED STOP BAR AND INSTALL 4" WIDE PAINTED STRIPE AS PER M.U.T.C.D. STANDARDS. ENGINEER TO LOCATE IN FIELD PRIOR TO CONSTRUCTION
  - CONSTRUCT GROUTED RIPRAP CHANNEL PER DETAIL 2 SHEET C6.4 SEE GRADING PLANS FOR DETAILS
  - NOT USED
  - NOT USED
  - CONSTRUCT CURB WITH 4" GUTTER AS PER DETAIL 8, SHEET C6.5

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DESIGNED: J.P.B. / W.T.G.  
J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STATE OF NEVADA  
MATTHEW RASMUSSEN  
Exp. 12-31-19  
CIVIL  
16255  
09/26/18

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**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
821 Meander Court, Suite 200, Medina, Minnesota 55340

WASHOE COUNTY ENGINEERING OFFICE COPY



**REVISED**  
SEP 27 2018

**SOUTH - SITE PLAN**  
SCALE: 1" = 40'-0"



PROJECT LEGEND	
A.P.N.:	084-370-07
PARCEL ZONING:	INDUSTRIAL
PARCEL SIZE:	45.75 ACRES
<b>PARKING:</b>	
BUILDING (560,820 S.F.):	= 60 SPACES
OFFICE (15,000/2500)	= 132 SPACES
WAREHOUSE (2545,820/4000)	= 197 SPACES
TOTAL PARKING REQUIRED:	= 389 SPACES
<b>HANDICAP PARKING REQUIREMENTS:</b>	
1:25 FOR FIRST 100	= 4 SPACES
1:50 FOR SECOND 100	= 2 SPACES
TOTAL HANDICAP PARKING REQUIRED	= 6 SPACES
STANDARD PARKING PROVIDED	= 218 SPACES
<b>HANDICAP PARKING PROVIDED:</b>	
VAN (WITH 8' MIN ACCESS)	= 8 SPACES
TOTAL SPACES PROVIDED:	= 226 SPACES
TRAILER PARKING:	= 108 TRAILER STALLS

PROJECT/CLIENT: # 18091  
SUBMITTAL RECORD: 06/14/16 SITE IMPROVEMENT PERMIT # 16-1945  
09/26/18 CLIENT UPDATES BUILDING SHIFT

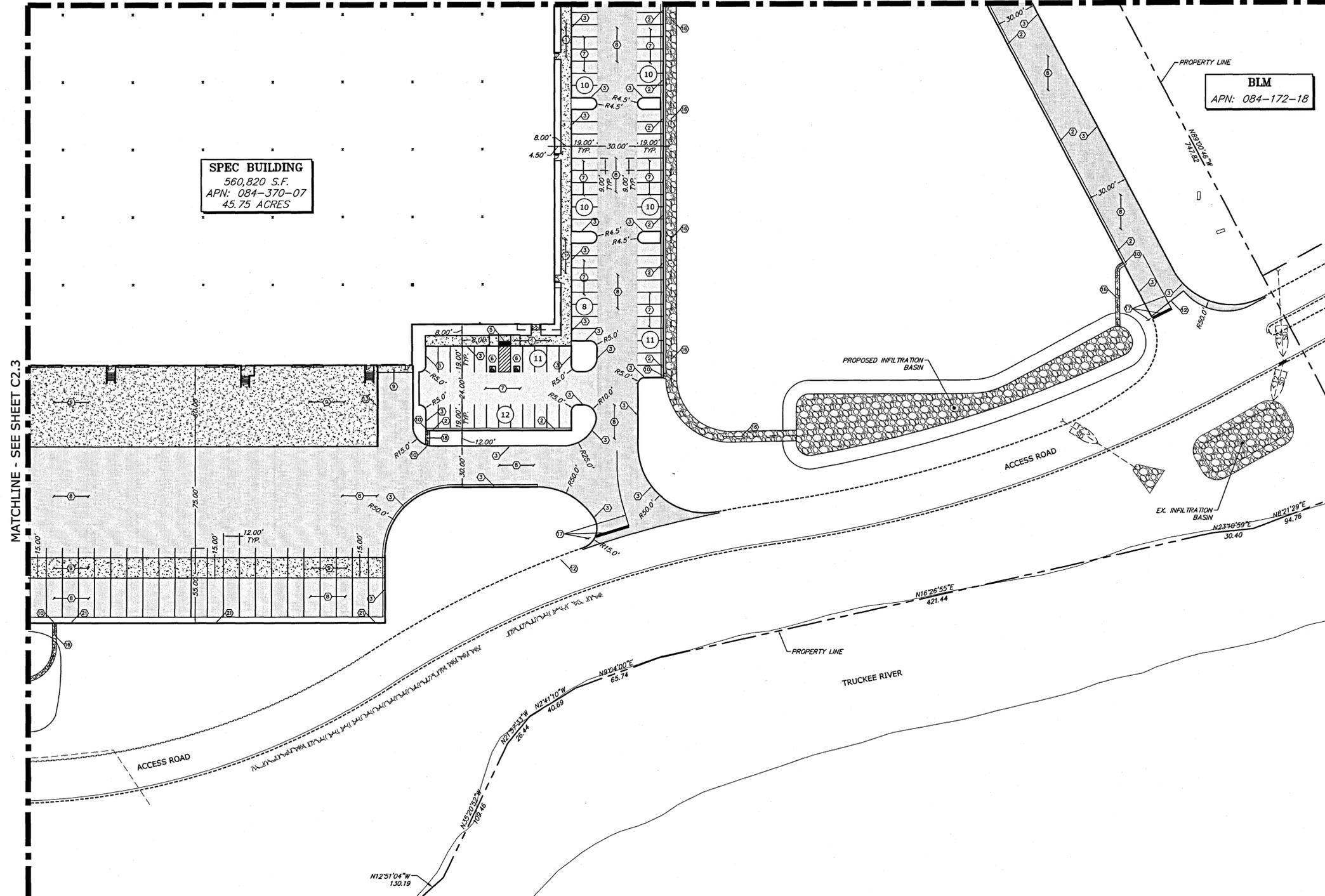
SHEET TITLE: SOUTH - SITE PLAN

SHEET: C2.3

1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C2.3

2 DAYS BEFORE YOU DIG CALL USA  
TOLL FREE 1-800-227-2600

MATCHLINE - SEE SHEET C2.2



**SPEC BUILDING**  
560,820 S.F.  
APN: 084-370-07  
45.75 ACRES

**BLM**  
APN: 084-172-18

**EAST - SITE PLAN**  
SCALE: 1" = 40'-0"



- NOTES:**
- PERMANENT STRIPING AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - PARKING SPACE LINES SHALL BE 4-INCH WIDE, YELLOW STRIPES.
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  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  - REFERENCE "LEGEND" ON SHEET C6.1
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- CONSTRUCTION NOTES:**
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  - CONSTRUCT CURB & GUTTER AS PER DETAIL 7, SHEET C6.2
  - CONSTRUCT TYPE I MEDIAN CURB PER DETAIL 8, SHEET C6.2
  - CONSTRUCT 3" VALLEY GUTTER AS PER DETAIL 7, SHEET C6.5
  - CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP AS PER DETAIL 3, DETAIL 4 AND DETAIL 5, SHEET C6.2
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  - CONSTRUCT CURB OPENING AND PER DETAIL 5 SHEET C6.4
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  - CONSTRUCT DOCK WALL, SEE STRUCTURAL PLANS
  - CONSTRUCT 6" PIPE BOLLARD AS PER DETAIL 6, SHEET C6.3
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  - CONSTRUCT GROUTED RIPRAP CHANNEL PER DETAIL 2 SHEET C6.4. SEE GRADING PLANS FOR DETAILS
  - NOT USED
  - NOT USED
  - CONSTRUCT CURB WITH 4" GUTTER AS PER DETAIL 8, SHEET C6.5

WASHOE COUNTY SUBMITTAL OFFICE



**REVISED**  
SEP 27 2018

PROJECT LEGEND	
A.P.N.:	084-370-07
PARCEL ZONING:	INDUSTRIAL
PARCEL SIZE:	45.75 ACRES
<b>PARKING:</b>	
BUILDING (560,820 S.F.):	
OFFICE (15,000/250)	= 60 SPACES
WAREHOUSE (245,820/4000)	= 137 SPACES
TOTAL PARKING REQUIRED:	= 197 SPACES
<b>HANDICAP PARKING REQUIREMENTS:</b>	
1:25 FOR FIRST 100	= 4 SPACES
1:50 FOR SECOND 100	= 2 SPACES
TOTAL HANDICAP PARKING REQUIRED	= 6 SPACES
STANDARD PARKING PROVIDED	= 218 SPACES
<b>HANDICAP PARKING PROVIDED:</b>	
VAN (WITH 8' MIN ACCESS)	= 8 SPACES
TOTAL SPACES PROVIDED:	= 226 SPACES
TRAILER PARKING:	= 108 TRAILER STALLS

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DESIGNED: J.P.B. / W.T.G.  
DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STAMP: MATTHEW RASMUSSEN, CIVIL, No. 16258, State of Nevada, 09/26/18

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fax 775-824-9988  
www.tectonicsdesigngroup.com

**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV

**Scannell Properties**  
821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: #18091

DATE: 06/14/16  
09/26/18

SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945  
CLIENT UPDATES  
BUILDING SHIFT

SHEET TITLE: EAST - SITE PLAN

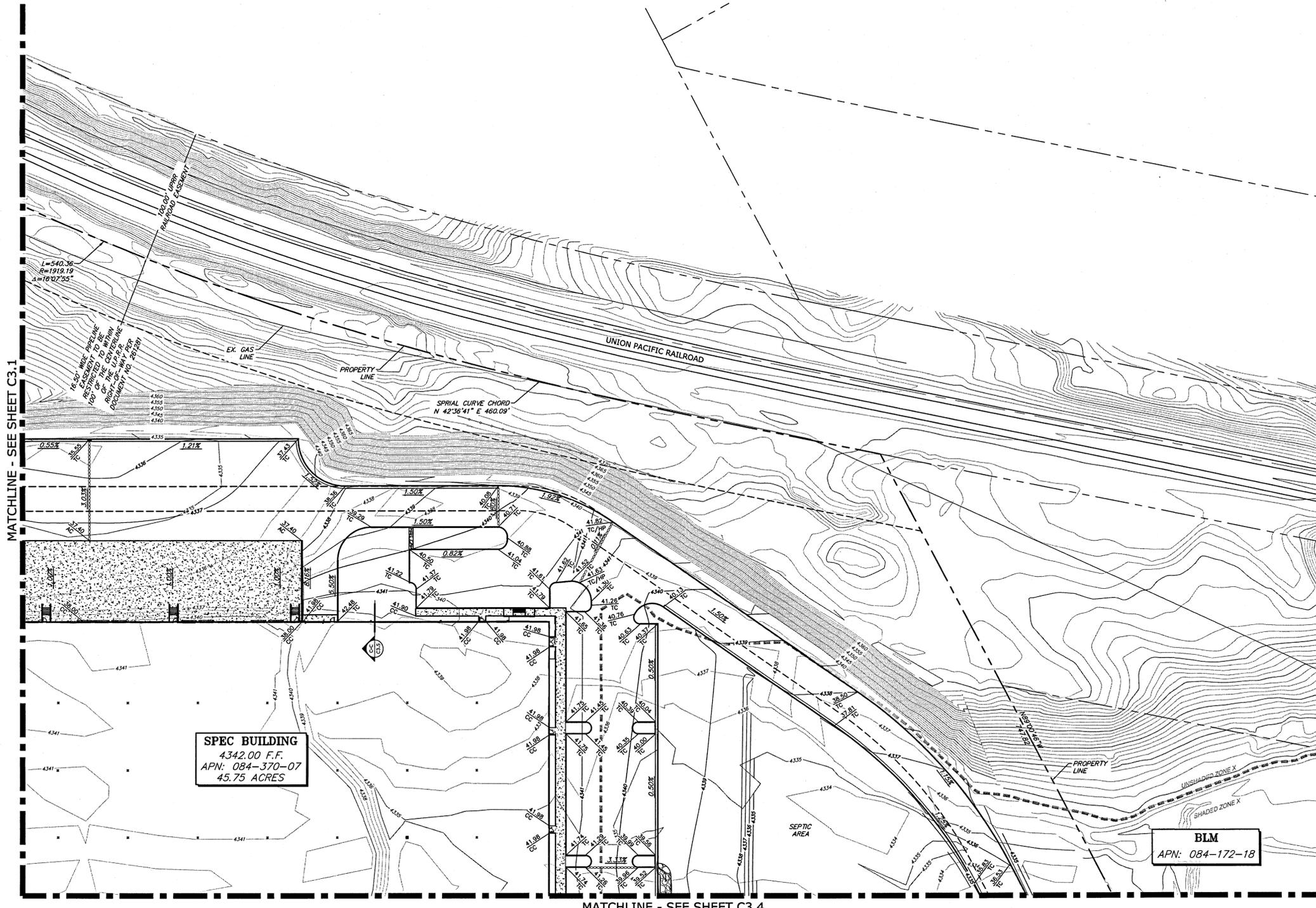
SHEET: C2.4

1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C24

2 DAYS BEFORE YOU DIG CALL USA  
TOLL FREE 1-800-227-2600



1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C3.2



**SPEC BUILDING**  
4342.00 F.F.  
APN: 084-370-07  
45.75 ACRES

**BLM**  
APN: 084-172-18

**REVISED**  
SEP 27 2018

**NORTH - GRADING PLAN**  
SCALE: 1" = 40'-0"



**NOTE:**  
SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.

- CONSTRUCTION NOTES:**
1. CONSTRUCT INFILTRATION BASIN AS PER DETAIL 1, SHEET C6.4 TO ENSURE THAT TOTAL DISSOLVED SOLIDS, NITROGEN, PHOSPHOROUS AND AMBIENT TEMPERATURE MEET WATER QUALITY REQUIREMENTS ESTABLISHED BY THE NDEP
  2. CONSTRUCT RIPRAP CHANNEL AS PER DETAIL 6, SHEET C6.4

- NOTES:**
1. REFERENCE "GENERAL NOTES" ON SHEET C6.1
  2. REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  3. REFERENCE "LEGEND" ON SHEET C6.1
  4. ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
  5. DISTURBED AREAS TO BE RE-VEGETATED
  6. SEE GEOTECHNICAL REPORT FOR OVER EXCAVATION REQUIREMENTS
  7. ALL CREATED SLOPES GREATER THAN 3:1 SHALL BE TREATED WITH 0.5' DEEP 6"-8" ROCK RIPRAP
  8. TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AT THE LIMITS OF GRADING
  9. ALL MATERIALS (SUCH AS GRAVEL, CONCRETE, SOIL AND OTHER DUMPED ITEMS) NOT SUITABLE FOR USE AS CUT-AND-FILL MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE TO A LOCATION APPROVED BY WASHOE COUNTY.
  10. BOULDERS UNEARTHED DURING GRADING SHALL BE PLACED ON ALL CUT AND FILL SLOPES TO HELP STABILIZE THE SLOPES AND TO HELP CREATE A MORE NATURAL APPEARANCE
  11. EVERY ATTEMPT HAS BEEN MADE TO GRADE THIS DEVELOPMENT AS A BALANCED SITE WITH MINIMAL IMPORT OR EXPORT OF FILL REQUIRED.



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**DRAWN:** J.P.B. / W.T.G.  
**DESIGNED:** J.P.B.  
**CHECKED/STAMPED:** MATT K. RASMUSSEN, P.E.

**STAMP:** MATTHEW RASMUSSEN, CIVIL, Exp. 12-31-19, LICENSE No. 16298, NV, 09/26/18

**DESIGNER:**

**TECTONICS DESIGN GROUP**  
730 Sandhill Rd., #250, Reno, Nevada 89521  
tel 775-824-9988  
fax 775-824-9986  
www.tectonicsdesigngroup.com

**PROJECT/CLIENT:**

**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
821 Meander Court, Suite 200, Medina, Minnesota 55340

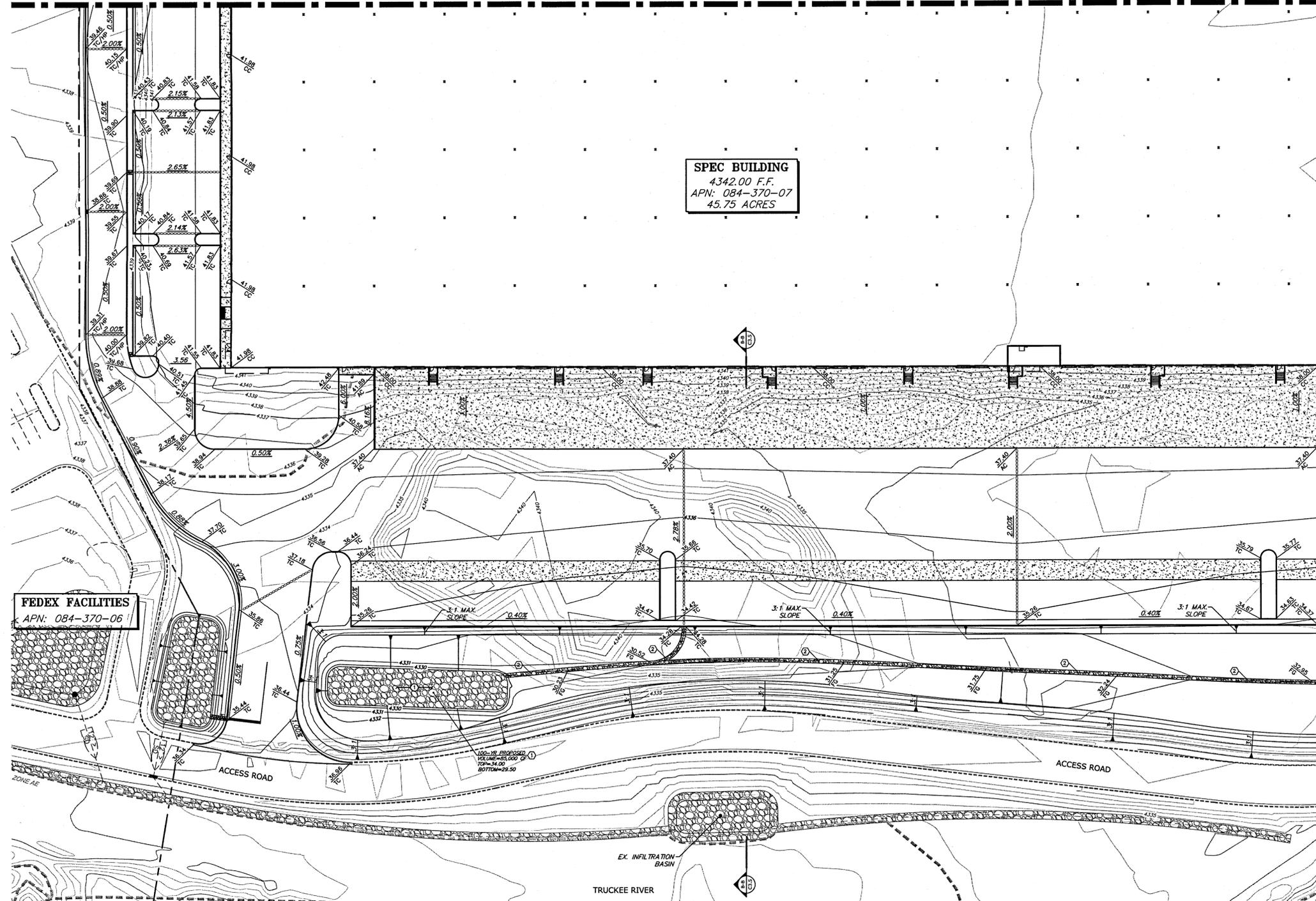
**DATE:** 06/14/16  
**09/26/18**

**SUBMITTAL:** SITE IMPROVEMENT PERMIT #16-1945  
CLIENT UPDATES  
BUILDING SHIFT

**SHEET TITLE:** NORTH - GRADING PLAN

**SHEET:** C3.2

MATCHLINE - SEE SHEET C3.1



**SPEC BUILDING**  
 4342.00 F.F.  
 APN: 084-370-07  
 45.75 ACRES

**FEDEX FACILITIES**  
 APN: 084-370-06

**SOUTH - GRADING PLAN**  
 SCALE: 1" = 40'-0"



**NOTE:**  
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- NOTES:**
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  9. ALL MATERIALS (SUCH AS GRAVEL, CONCRETE, SOIL AND OTHER DUMPED ITEMS) NOT SUITABLE FOR USE AS CUT-AND-FILL MATERIAL, SHALL BE REMOVED FROM THE PROJECT SITE TO A LOCATION APPROVED BY WASHOE COUNTY.
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 09/26/18

**DESIGNER:**

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**PROJECT/CLIENT:**

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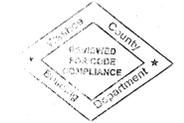
<b>DATE:</b> 06/14/16	<b>SUBMITTAL:</b> SITE IMPROVEMENT PERMIT #16-1945
<b>09/26/18</b>	CLIENT UPDATES BUILDING SHIFT

**SUBMITTAL RECORD:**

**SHEET TITLE:** SOUTH - GRADING PLAN

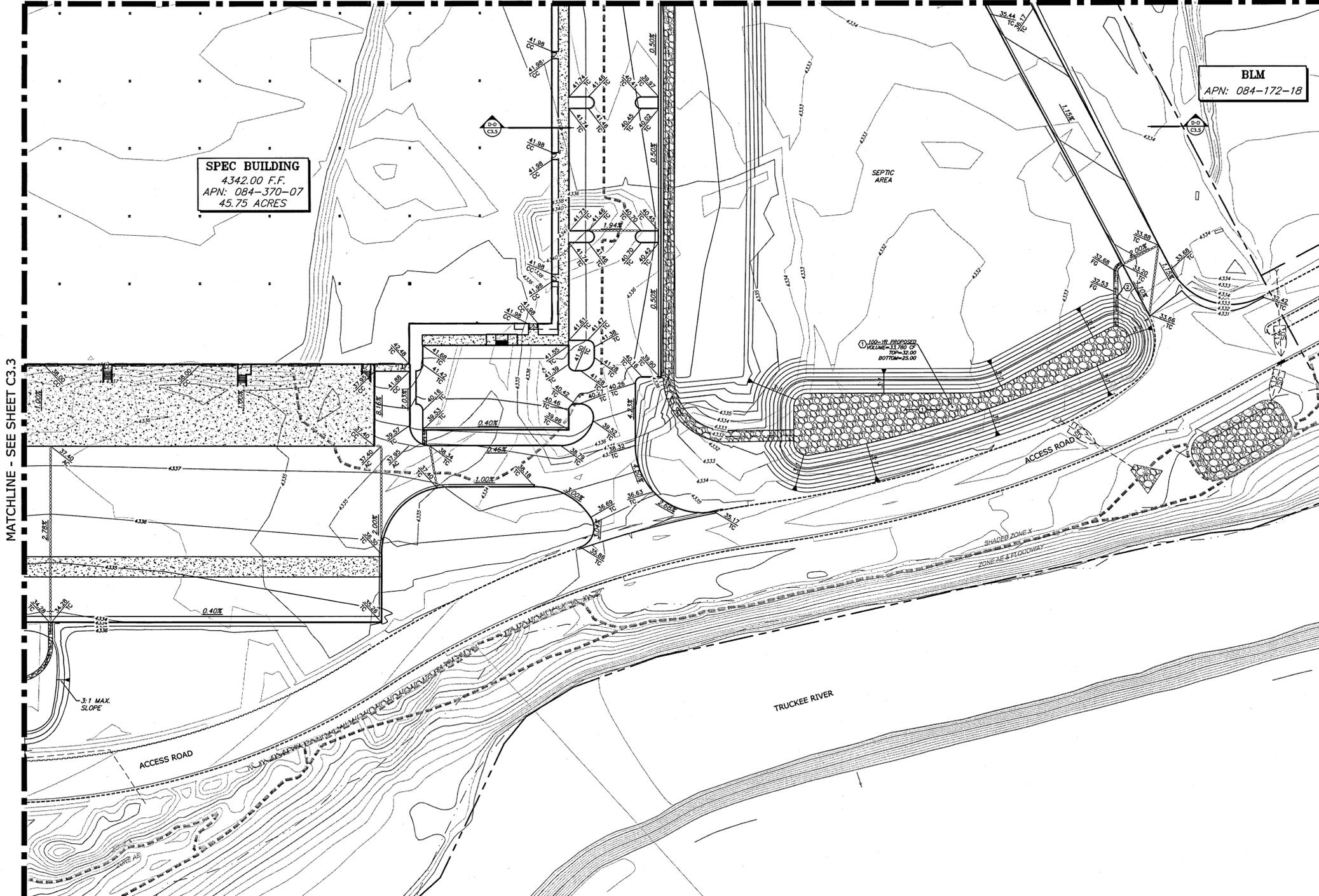
**SHEET:** C3.3

**REVISED**  
 SEP 27 2018



1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C3.3

MATCHLINE - SEE SHEET C3.2



**SPEC BUILDING**  
 4342.00 F.F.  
 APN: 084-370-07  
 45.75 ACRES

**BLM**  
 APN: 084-172-18

**EAST - GRADING PLAN**  
 SCALE: 1" = 40'-0"



**NOTE:**  
 SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.

- CONSTRUCTION NOTES:**
1. CONSTRUCT INFILTRATION BASIN AS PER DETAIL 1, SHEET C6.4 TO ENSURE THAT TOTAL DISSOLVED SOLIDS, NITROGEN, PHOSPHOROUS AND AMBIENT TEMPERATURE MEET WATER QUALITY REQUIREMENTS ESTABLISHED BY THE NDEP
  2. CONSTRUCT RIPRAP CHANNEL AS PER DETAIL 6, SHEET C6.4

- NOTES:**
1. REFERENCE "GENERAL NOTES" ON SHEET C6.1
  2. REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  3. REFERENCE "LEGEND" ON SHEET C6.1
  4. ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
  5. DISTURBED AREAS TO BE RE-VEGETATED
  6. SEE GEOTECHNICAL REPORT FOR OVER EXCAVATION REQUIREMENTS
  7. ALL CREATED SLOPES GREATER THAN 3:1 SHALL BE TREATED WITH 0.5' DEEP 6"-8" ROCK RIPRAP
  8. TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AT THE LIMITS OF GRADING
  9. ALL MATERIALS (SUCH AS GRAVEL, CONCRETE, SOIL AND OTHER DUMPED ITEMS) NOT SUITABLE FOR USE AS CUT-AND-FILL MATERIAL, SHALL BE REMOVED FROM THE PROJECT SITE TO A LOCATION APPROVED BY WASHOE COUNTY.
  10. BOULDERS UNEARTHED DURING GRADING SHALL BE PLACED ON ALL CUT AND FILL SLOPES TO HELP STABILIZE THE SLOPES AND TO HELP CREATE A MORE NATURAL APPEARANCE
  11. EVERY ATTEMPT HAS BEEN MADE TO GRADE THIS DEVELOPMENT AS A BALANCED SITE WITH MINIMAL IMPORT OR EXPORT OF FILL REQUIRED.



**REVISED**  
 SEP 27 2018



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**DRAWN:** J.P.B. / W.T.G.  
**DESIGNED:** J.P.B.  
**CHECKED/STAMPED:** MATT K. RASMUSSEN, P.E.

**DESIGNER:**

**TECTONICS DESIGN GROUP**  
 730 Sandhill Rd., #250, Reno, Nevada 89521  
 tel 775-824-9988  
 fax 775-824-9986  
 www.tectonicsdesigngroup.com

**PROJECT/CLIENT:**  
 MUSTANG INDUSTRIAL DEVELOPMENT  
 12475 MUSTANG ROAD Washoe County, NV  
 Scannell Properties  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

**DATE:** 06/14/16  
**09/26/18**

**SUBMITTAL:**  
 SITE IMPROVEMENT PERMIT #16-1945  
 CLIENT UPDATES  
 BUILDING SHIFT

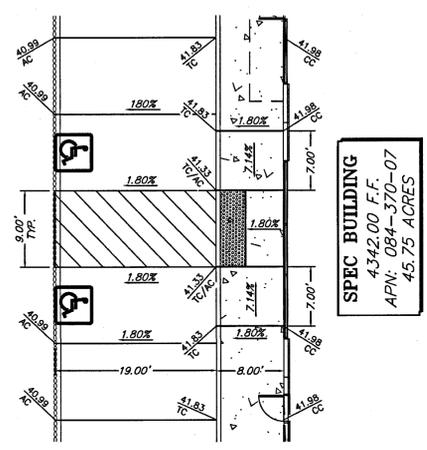
**SHEET TITLE:**  
 EAST - GRADING PLAN

**SHEET:**  
 C3.4

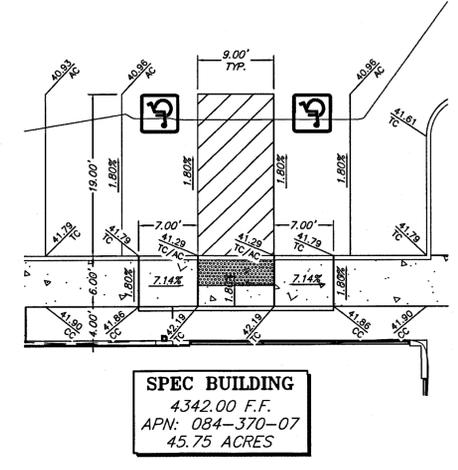
1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C3.4



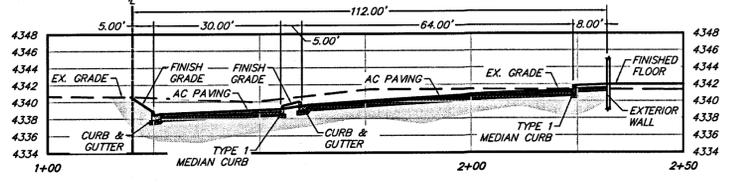
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 DESIGNED: J.P.B.  
 CHECKED/STAMPED: J.P.B.  
 MATT K. RASMUSSEN, P.E.  
 MATTHEW RASMUSSEN  
 Exp. 12-31-19  
 CIVIL  
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 09/26/18



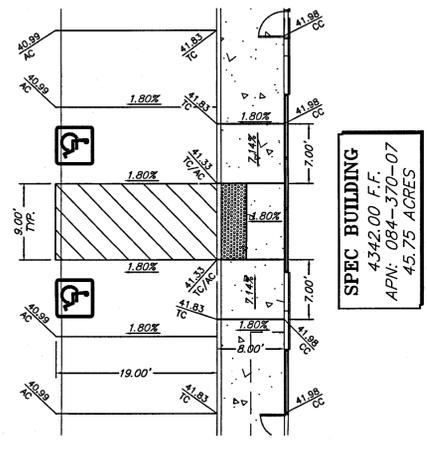
**SHEET C3.1**  
**PEDESTRIAN RAMP GRADING DETAIL**  
 SCALE: 1" = 10'-0"



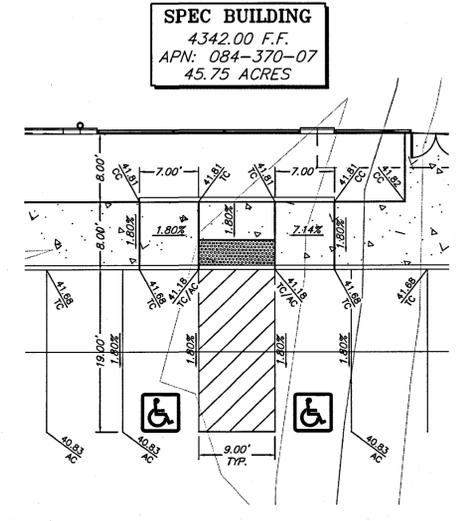
**SHEET C3.2**  
**PEDESTRIAN RAMP GRADING DETAIL**  
 SCALE: 1" = 10'-0"



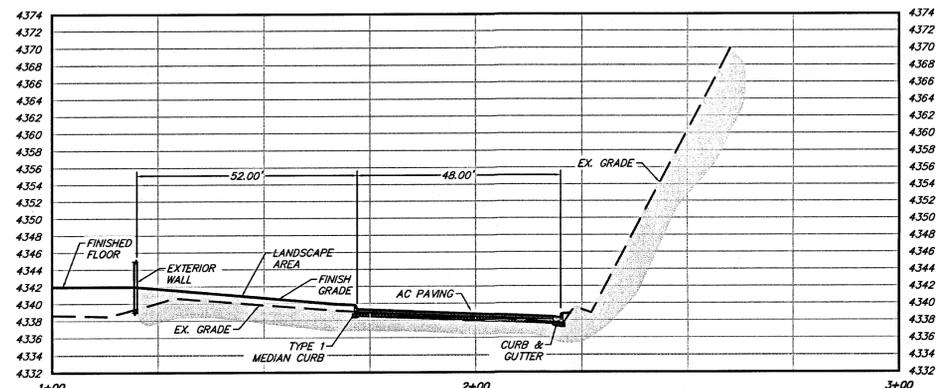
**SECTION A-A GRADING SHEET C3.1**  
 SCALE: H: 1" = 20'-0", V: 1" = 10'-0"



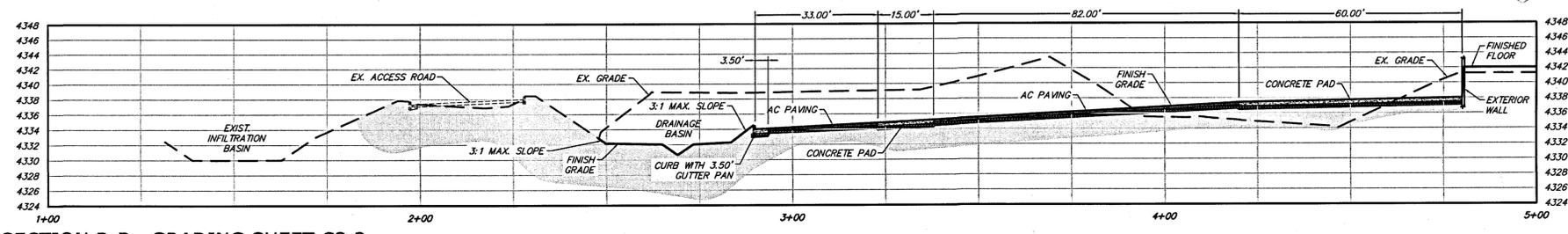
**SHEET C3.3**  
**PEDESTRIAN RAMP GRADING DETAIL**  
 SCALE: 1" = 10'-0"



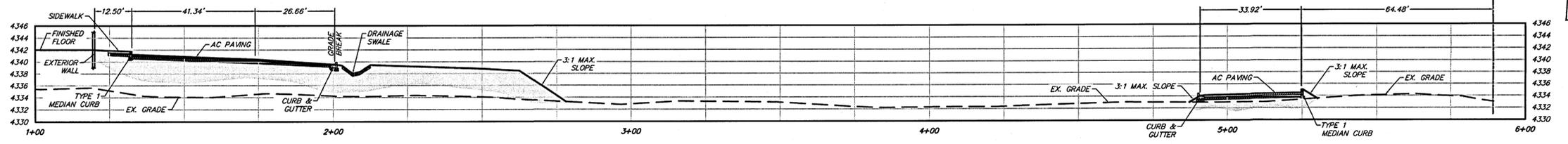
**SHEET C3.4**  
**PEDESTRIAN RAMP GRADING DETAIL**  
 SCALE: 1" = 10'-0"



**SECTION C-C GRADING SHEET C3.2**  
 SCALE: H: 1" = 20'-0", V: 1" = 10'-0"



**SECTION B-B GRADING SHEET C3.3**  
 SCALE: H: 1" = 20'-0", V: 1" = 10'-0"



**SECTION D-D GRADING SHEET C3.4**  
 SCALE: H: 1" = 20'-0", V: 1" = 10'-0"

**REVISED**  
 SEP 27 2018

**TECTONICS**  
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**MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: # 18091  
 DATE: 06/14/16 SUBMITTAL  
 09/26/18 SITE IMPROVEMENT PERMIT #16-1945  
 CLIENT UPDATES BUILDING SHIFT  
 SHEET TITLE: GRADING DETAIL AND CROSS SECTION SHEET  
**C3.5**

AS SHOWN MUSTANG INDUSTRIAL PARK 18122\_C35

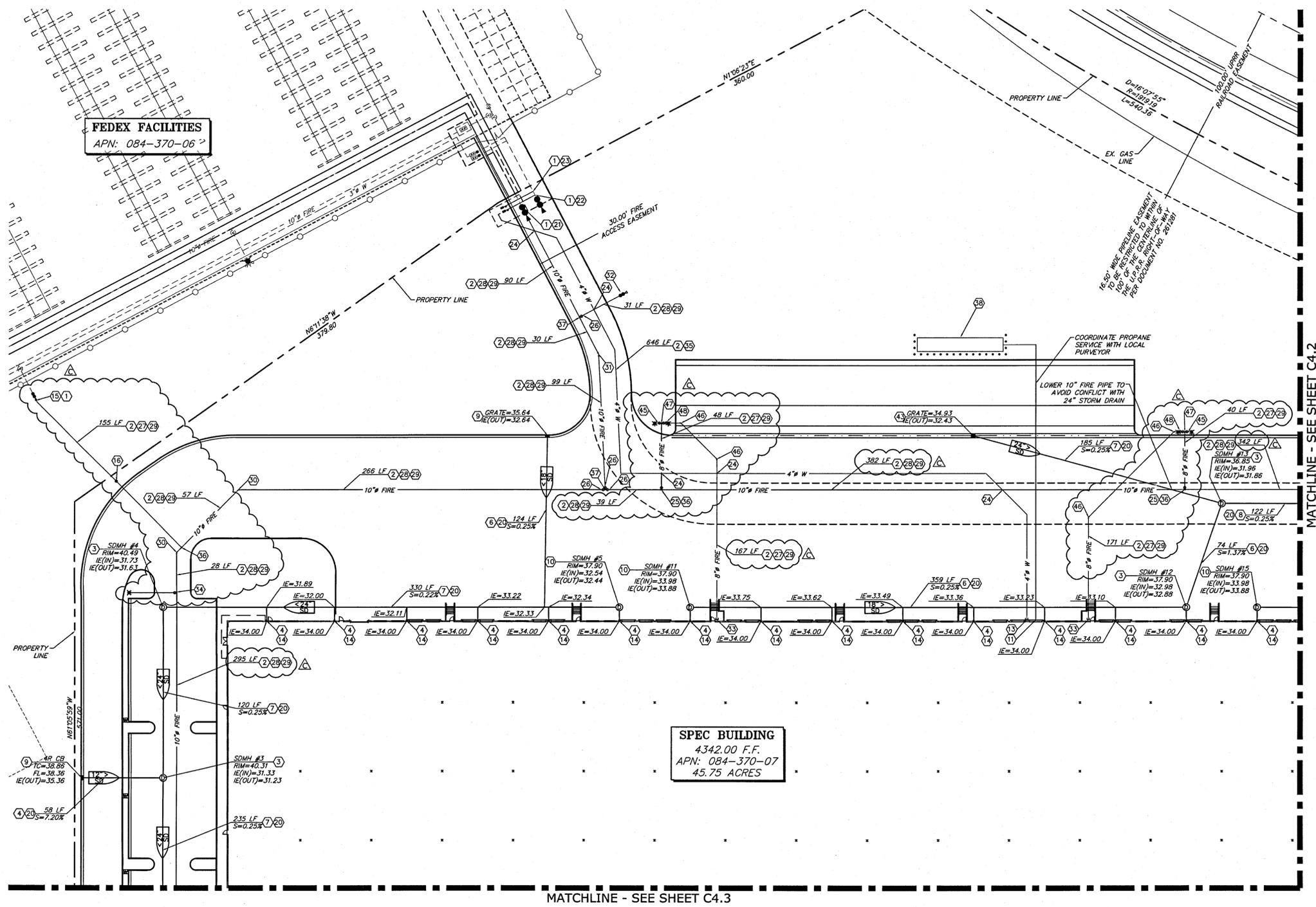
Copyright: J.P.B. / W.T.G.  
 DESIGNED: J.P.B.  
 CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.  
 REGISTERED PROFESSIONAL ENGINEER - STATE OF NEVADA  
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 Exp. 12-31-19  
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**MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: #18091  
 DATE: 06/14/16  
 09/26/18  
 09/28/18  
 01/02/19  
 SUBMITTAL RECORD:  
 SHEET TITLE: WEST - UTILITY PLAN  
 SHEET: C4.1

- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL POthOLE AND VERIFY EXACT LOCATION OF UTILITY PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS FOUND IN THE FIELD.
  - CONSTRUCT TYPICAL WATER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 5, SHEET C6.7.
  - CONSTRUCT TYPE V (60") STORM DRAIN MANHOLE AS PER DETAIL 1, SHEET C6.5.
  - INSTALL 12" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - NOT USED.
  - INSTALL 18" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - INSTALL 24" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - INSTALL 30" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - CONSTRUCT TYPE 4R CATCH BASIN AS PER DETAIL 2, SHEET C6.5.
  - CONSTRUCT TYPE I-A MANHOLE AS PER DETAIL 1, DETAIL 2 AND DETAIL 3, SHEET C6.6.
  - SEE MECHANICAL PLAN FOR CONTINUATION OF GAS.
  - INSTALL FLARED END SECTION AS PER DETAIL 4, SHEET C6.4.
  - FOR INTERNAL CONTINUATION SEE PLUMBING PLAN.
  - CONSTRUCT DOWNSPOUT CONNECTION AS PER DETAIL 4, SHEET C6.5.
  - CONNECT TO EXISTING TFWA STUB FOR EMERGENCY TFWA SUPPLY IN EVENT OF PUMP FAILURE.
  - INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7 WITH POST INDICATOR AND ALARM EMERGENCY TFWA SUPPLY IN EVENT OF PUMP FAILURE. COORDINATE WITH TMFPD FOR PROPER SIGNAGE.
  - INSTALL 8" SDR PVC SANITARY SEWER PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - FOR SEWER CONTINUATION SEE SEPTIC DESIGN PLANS BY PEZONELLA ASSOCIATES.
  - NOT USED.
  - CONSTRUCT TYPICAL SEWER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 4, SHEET C6.6.
  - REMOVE EXISTING FLUSH VALVE AND CONNECT TO EXISTING FIRE STUB.
  - CONSTRUCT DOMESTIC SERVICE AS PER TFWA PLANS.
  - CONSTRUCT IRRIGATION SERVICE AS PER TFWA PLANS. FOR CONTINUATION OF IRRIGATION SERVICE SEE LANDSCAPE PLANS.
  - CONSTRUCT WATER/SEWER MAIN CROSSING AS PER DETAIL 5, SHEET C6.6.
  - INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7.
  - INSTALL 10" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7.
  - INSTALL 8" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  - INSTALL 10" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  - WATER LINE CONSTRUCTION SHALL BE CONSTRUCTED WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - INSTALL 10" 45" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - INSTALL 10" 22.5" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - INSTALL FLUSH VALVE ASSEMBLY AS PER DETAIL 2, SHEET C6.7.
  - CONSTRUCT FIRE RISER FOR FIRE SPRINKLER SYSTEM, SEE FIRE PROTECTION PLAN FOR CONTINUATION.
  - CONSTRUCT FIRE HYDRANT WITH 10" X 6" X 10" FLG X PO TEE AND 6" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3.
  - INSTALL 4" HDPE, LENGTH AS SHOWN ON PLANS.
  - CONSTRUCT 10"x8"x10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - CONSTRUCT 10"x10"x10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - CONSTRUCT NEW PROPANE TANK, COORDINATE TANK PLACEMENT & PIPE TO BUILDING LOCATIONS WITH GAS DESIGN PLANS. FOUNDATION AND SEISMIC BRACING FOR TANK AS REQUIRED SHALL BE BY STRUCTURAL ENGINEER.
  - INSTALL 36" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS.
  - INSTALL SANITARY SEWER CLEAN-OUT AS PER DETAIL 7, SHEET C6.6.
  - INSTALL SANITARY SEWER LATERAL AS PER DETAIL 6, SHEET C6.6.
  - SEE PLUMBING PLANS FOR SEWER CONTINUATION.
  - CONSTRUCT 36"x36" 3R CATCH BASIN AS PER DETAIL 6, SHEET C6.5.
  - CONSTRUCT IV-A MANHOLE AS PER DETAIL 5, SHEET C6.5.
  - CONSTRUCT FIRE HYDRANT WITH 8" FLG X PO TEE WITH 8" X 6" REDUCER AND 6" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3.
  - INSTALL 8" 45" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - CONSTRUCT 8"x8"x8" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - CONSTRUCT FIRE RISER CONNECTION AS PER DETAIL 3, SHEET C6.5.



**SPEC BUILDING**  
 4342.00 F.F.  
 APN: 084-370-07  
 45.75 ACRES

**WEST - UTILITY PLAN**  
 SCALE: 1" = 40'-0"

- NOTES:**
- REFERENCE "GENERAL NOTES" ON SHEET C6.1
  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  - REFERENCE "LEGEND" ON SHEET C6.1
  - ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
  - DURING CONSTRUCTION OF 8" AND 10" WATERLINE LOOP AIR RELIEF VALVES WILL BE REQUIRED AT ALL HIGH AND LOW POINTS ENCOUNTERED AS PER DETAIL 4, SHEET C6.7
  - ON-SITE STORM SYSTEM SHALL BE OWNED AND MAINTAINED BY OWNER.
  - AT ALL UTILITY CROSS CONNECTIONS INSTALL RED MUD OR COMPLY WITH CROSS CONNECTION REQUIREMENTS PER CODE.
  - FLUSH AND HYDROSTATIC TEST (200 PSI FOR 2 HOURS) FOR UNDERGROUND FIRE WATER SUPPLY. TEST SHALL BE WITNESSED BY TMFPD STAFF.

**REVISED**  
 JAN 03 2019

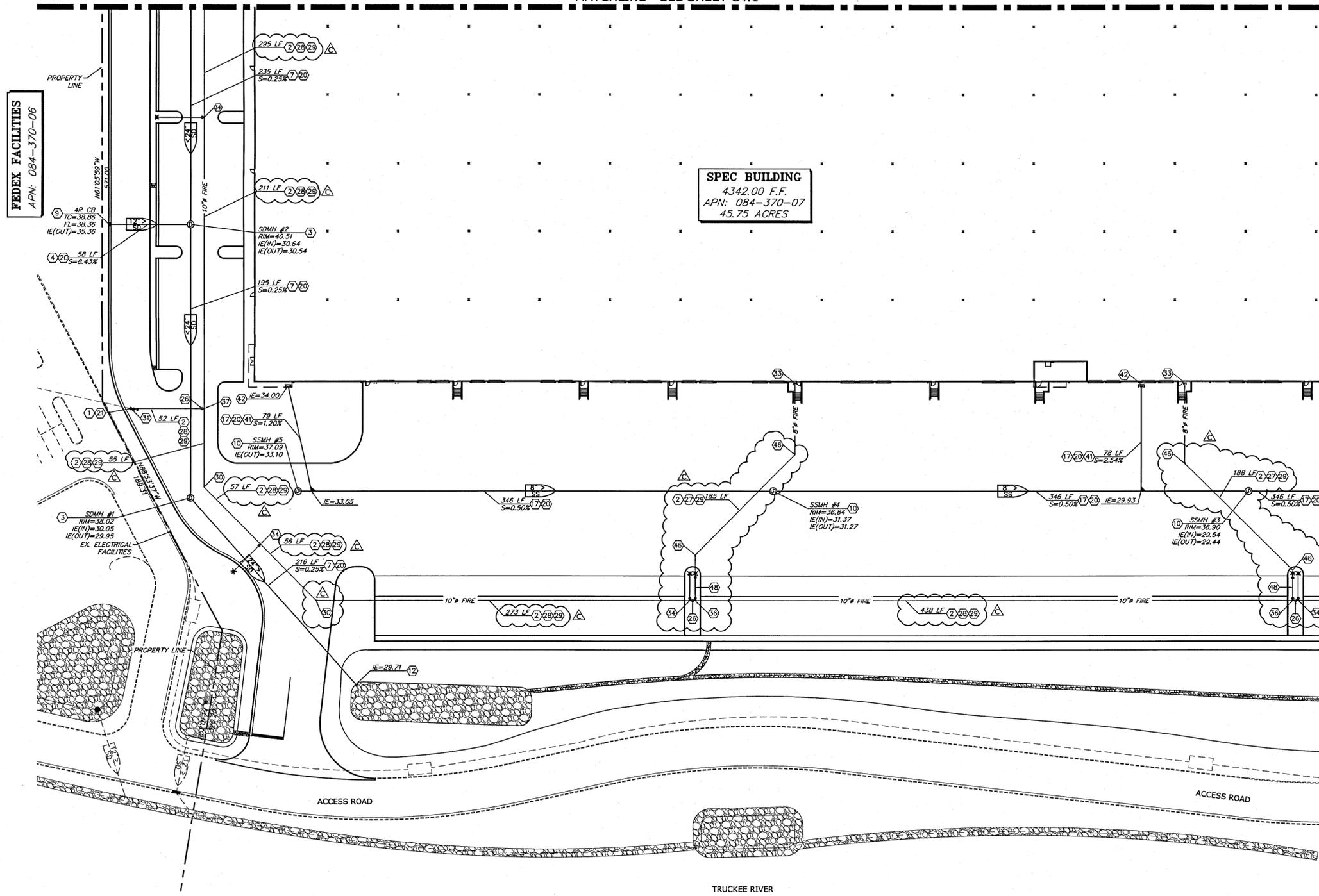
WASHOE COUNTY BUILDING DEPT.  
**OFFICE COPY**



2 DAYS BEFORE YOU DIG CALL USA  
 TOLL FREE 1-800-227-2600



MATCHLINE - SEE SHEET C4.1



**SPEC BUILDING**  
 4342.00 F.F.  
 APN: 084-370-07  
 45.75 ACRES

**FEDEX FACILITIES**  
 APN: 084-370-06

**SOUTH - UTILITY PLAN**  
 SCALE: 1" = 40'-0"



- NOTES:**
1. REFERENCE "GENERAL NOTES" ON SHEET C6.1
  2. REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  3. REFERENCE "LEGEND" ON SHEET C6.1
  4. ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
  5. DURING CONSTRUCTION OF 8" AND 10" WATERLINE LOOP AIR RELIEF VALVES WILL BE REQUIRED AT ALL HIGH AND LOW POINTS ENCOUNTERED AS PER DETAIL 4, SHEET C6.7
  6. ON-SITE STORM SYSTEM SHALL BE OWNED AND MAINTAINED BY OWNER.
  7. AT ALL UTILITY CROSS CONNECTIONS INSTALL RED MUD OR COMPLY WITH CROSS CONNECTION REQUIREMENTS PER CODE.
  8. FLUSH AND HYDROSTATIC TEST (200 PSI FOR 2 HOURS) FOR UNDERGROUND FIRE WATER SUPPLY. TEST SHALL BE WITNESSED BY TMFPD STAFF.

NOTE:  
 ALL ON-SITE UTILITY BACKFILL SHALL BE CLASS A MATERIAL.

**REVISED**  
 JAN 03 2019

WASHOE COUNTY BUILDING DEPT.  
**OFFICE COPY**

- CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL POTHOLE AND VERIFY EXACT LOCATION OF UTILITY PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS FOUND IN THE FIELD
  2. CONSTRUCT TYPICAL WATER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 5, SHEET C6.7
  3. CONSTRUCT TYPE V (60") STORM DRAIN MANHOLE AS PER DETAIL 1, SHEET C6.5
  4. INSTALL 12" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  5. NOT USED
  6. INSTALL 18" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  7. INSTALL 24" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  8. INSTALL 30" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  9. CONSTRUCT TYPE 4R CATCH BASIN AS PER DETAIL 2, SHEET C6.5
  10. CONSTRUCT TYPE I-A MANHOLE AS PER DETAIL 1, DETAIL 2 AND DETAIL 3, SHEET C6.6
  11. SEE MECHANICAL PLAN FOR CONTINUATION OF GAS
  12. INSTALL FLARED END SECTION AS PER DETAIL 4, SHEET C6.4
  13. FOR INTERNAL CONTINUATION SEE PLUMBING PLAN
  14. CONSTRUCT DOWNSPOUT CONNECTION AS PER DETAIL 4, SHEET C6.5
  15. CONNECT TO EXISTING TMWA STUB FOR EMERGENCY TMWA SUPPLY IN EVENT OF PUMP FAILURE.
  16. INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7 WITH POST INDICATOR AND ALARM. EMERGENCY TMWA SUPPLY IN EVENT OF PUMP FAILURE. COORDINATE WITH TMFPD FOR PROPER SIGNAGE.
  17. INSTALL 8" SDR P.V.C. SANITARY SEWER PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  18. FOR SEWER CONTINUATION SEE SEPTIC DESIGN PLANS BY PEZONELLA ASSOCIATES
  19. NOT USED
  20. CONSTRUCT TYPICAL SEWER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 4, SHEET C6.6
  21. REMOVE EXISTING FLUSH VALVE AND CONNECT TO EXISTING FIRE STUB
  22. CONSTRUCT DOMESTIC SERVICE AS PER TMWA PLANS
  23. CONSTRUCT IRRIGATION SERVICE AS PER TMWA PLANS. FOR CONTINUATION OF IRRIGATION SERVICE SEE LANDSCAPE PLANS.
  24. CONSTRUCT WATER/SEWER MAIN CROSSING AS PER DETAIL 5, SHEET C6.6
  25. INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7
  26. INSTALL 10" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7
  27. INSTALL 8" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  28. INSTALL 10" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  29. WATER LINE CONSTRUCTION SHALL BE CONSTRUCTED WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  30. INSTALL 10" 45' FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  31. INSTALL 10" 22.5' FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  32. INSTALL FLUSH VALVE ASSEMBLY AS PER DETAIL 2, SHEET C6.7
  33. CONSTRUCT FIRE RISER FOR FIRE SPRINKLER SYSTEM. SEE FIRE PROTECTION PLAN FOR CONTINUATION
  34. CONSTRUCT FIRE HYDRANT WITH 10" X 6" X 10" FLG X PO TEE AND 6" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3
  35. INSTALL 4" HDPE, LENGTH AS SHOWN ON PLANS
  36. CONSTRUCT 10"x8"x10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  37. CONSTRUCT 10"x10"x10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  38. CONSTRUCT NEW PROPANE TANK, COORDINATE TANK PLACEMENT & PIPE TO BUILDING LOCATIONS WITH GAS DESIGN PLANS. FOUNDATION AND SEISMIC BRACING FOR TANK AS REQUIRED SHALL BE BY STRUCTURAL ENGINEER.
  39. INSTALL 36" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  40. INSTALL SANITARY SEWER CLEAN-OUT AS PER DETAIL 7, SHEET C6.6
  41. INSTALL SANITARY SEWER LATERAL AS PER DETAIL 6, SHEET C6.6
  42. SEE PLUMBING PLANS FOR SEWER CONTINUATION
  43. CONSTRUCT 36"x36" 3R CATCH BASIN AS PER DETAIL 6, SHEET C6.5
  44. CONSTRUCT IV-A MANHOLE AS PER DETAIL 5, SHEET C6.5
  45. CONSTRUCT FIRE HYDRANT WITH 8" FLG X PO TEE WITH 8" X 6" REDUCER AND 6" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3
  46. INSTALL 8" 45' FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  47. CONSTRUCT 8" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  48. CONSTRUCT FIRE RISER CONNECTION AS PER DETAIL 3, SHEET C6.5



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DESIGNED: J.P.B. / W.T.G.  
 CHECKED/STAMPED: J.P.B.  
 MATT K. RASMUSSEN, P.E.

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PROJECT/CLIENT: **MUSTANG INDUSTRIAL DEVELOPMENT**  
 12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
 821 Meander Court, Suite 200, Medina, Minnesota 55340

DATE: 06/14/16  
 09/26/18  
 09/28/18  
 01/02/19

SUBMITTAL RECORD:  
 SUBMITTAL SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT RFI 11 SEWER RE UPDATES UPDATES PER TMFPD COMMENTS

SHEET TITLE: SOUTH - J. UTILITY PLAN

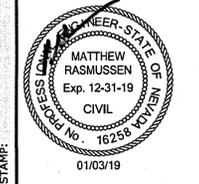
SHEET: **C4.3**

1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C4.3

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DESIGNED: J.P.B.  
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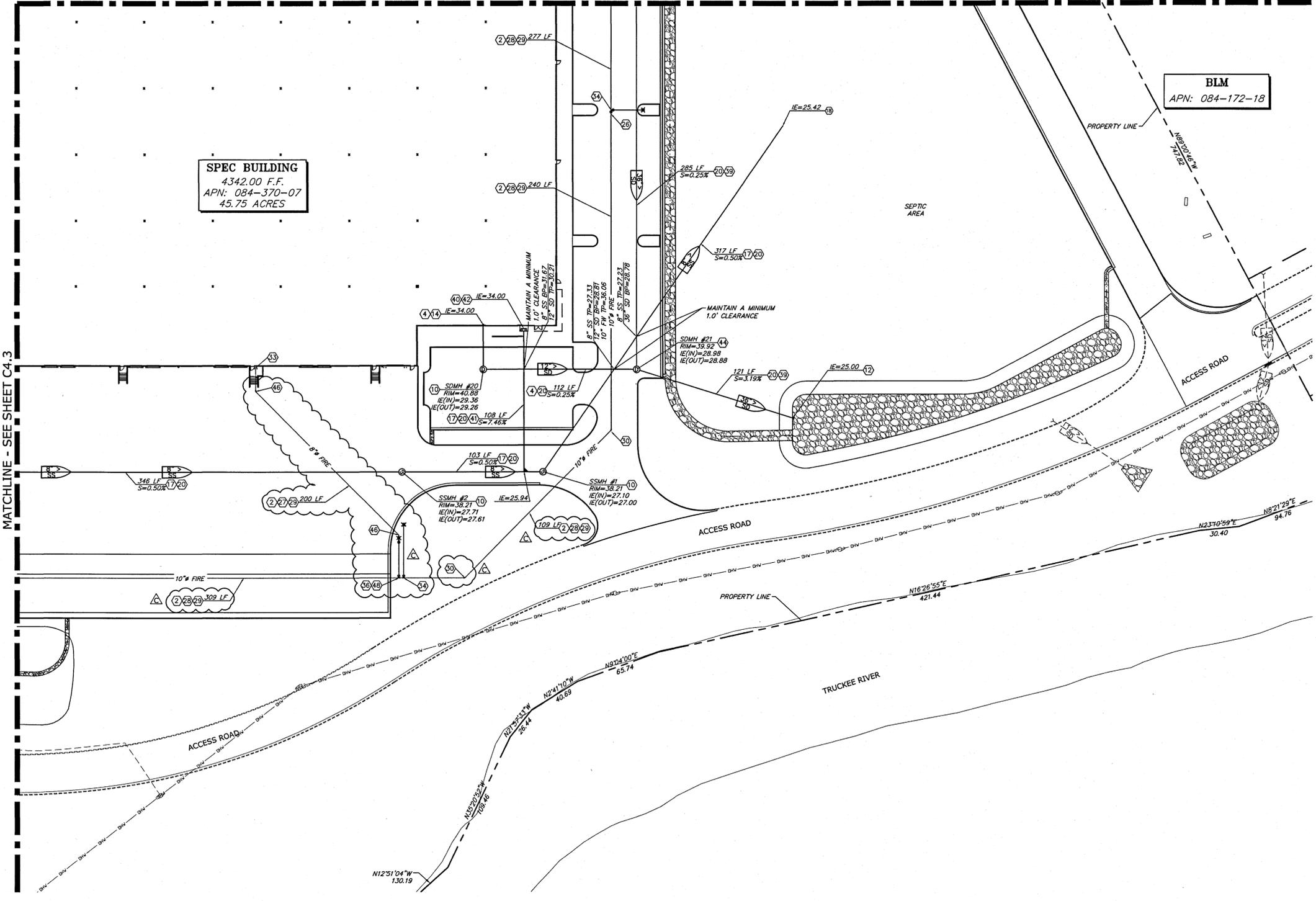
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**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
**Scannell Properties**  
821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: #180931  
DATE: 06/14/16  
SUBMITTAL RECORD: 09/26/18, 09/28/18, 01/02/18  
SUBMITTAL RECORD: 06/14/16, 09/26/18, 09/28/18, 01/02/18  
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SUBMITTAL RECORD: 06/14/16, 09/26/18, 09/28/18, 01/02/18

MATCHLINE - SEE SHEET C4.2



**EAST - UTILITY PLAN**  
SCALE: 1" = 40'-0"

- NOTES:
- REFERENCE "GENERAL NOTES" ON SHEET C6.1
  - REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  - REFERENCE "LEGEND" ON SHEET C6.1
  - ADD 4300 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
  - DURING CONSTRUCTION OF 8" AND 10" WATERLINE LOOP AIR RELIEF VALVES WILL BE REQUIRED AT ALL HIGH AND LOW POINTS ENCOUNTERED AS PER DETAIL 4, SHEET C6.7
  - ON-SITE STORM SYSTEM SHALL BE OWNED AND MAINTAINED BY OWNER.
  - AT ALL UTILITY CROSS CONNECTIONS INSTALL RED MUD OR COMPLY WITH CROSS CONNECTION REQUIREMENTS PER CODE.
  - FLUSH AND HYDROSTATIC TEST (200 PSI FOR 2 HOURS) FOR UNDERGROUND FIRE WATER SUPPLY. TEST SHALL BE WITNESSED BY TMFPD STAFF.

**REVISED**  
JAN 03 2019

- CONSTRUCTION NOTES:
- CONTRACTOR SHALL POTHOLE AND VERIFY EXACT LOCATION OF UTILITY PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS FOUND IN THE FIELD
  - CONSTRUCT TYPICAL WATER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 5, SHEET C6.7
  - CONSTRUCT TYPE V (60") STORM DRAIN MANHOLE AS PER DETAIL 1, SHEET C6.5
  - INSTALL 12" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - NOT USED
  - INSTALL 18" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - INSTALL 24" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - INSTALL 30" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - CONSTRUCT TYPE 4R CATCH BASIN AS PER DETAIL 2, SHEET C6.5
  - CONSTRUCT TYPE I-A MANHOLE AS PER DETAIL 1, DETAIL 2 AND DETAIL 3, SHEET C6.6
  - SEE MECHANICAL PLAN FOR CONTINUATION OF GAS
  - FOR INTERNAL CONTINUATION SEE PLUMBING PLAN
  - CONSTRUCT DOWNSPOUT CONNECTION AS PER DETAIL 4, SHEET C6.5
  - CONNECT TO EXISTING TWA STUB FOR EMERGENCY TWA SUPPLY IN EVENT OF PUMP FAILURE.
  - INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7 WITH POST INDICATOR AND ALARM. EMERGENCY TWA SUPPLY IN EVENT OF PUMP FAILURE. COORDINATE WITH TMFPD FOR PROPER SIGNAGE.
  - INSTALL 8" SDR P.V.C. SANITARY SEWER PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - FOR SEWER CONTINUATION SEE SEPTIC DESIGN PLANS BY PEZONELLA ASSOCIATES
  - NOT USED
  - CONSTRUCT TYPICAL SEWER TRENCH EXCAVATION AND BACKFILL AS PER DETAIL 4, SHEET C6.6
  - REMOVE EXISTING FLUSH VALVE AND CONNECT TO EXISTING FIRE STUB
  - CONSTRUCT DOMESTIC SERVICE AS PER TWA PLANS
  - CONSTRUCT IRRIGATION SERVICE AS PER TWA PLANS. FOR CONTINUATION OF IRRIGATION SERVICE SEE LANDSCAPE PLANS.
  - CONSTRUCT WATER/SEWER MAIN CROSSING AS PER DETAIL 5, SHEET C6.6
  - INSTALL 8" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7
  - INSTALL 10" FLG X FLG GATE VALVE AS PER DETAIL 3, SHEET C6.7
  - INSTALL 8" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  - INSTALL 10" AWWA C900 DR 15 305 PIPE PIPE. LENGTH AS SHOWN ON PLANS.
  - WATER LINE CONSTRUCTION SHALL BE CONSTRUCTED WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED.
  - INSTALL 10" 45" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - INSTALL 10" 22.5" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - INSTALL FLUSH VALVE ASSEMBLY AS PER DETAIL 2, SHEET C6.7
  - CONSTRUCT FIRE RISER FOR FIRE SPRINKLER SYSTEM, SEE FIRE PROTECTION PLAN FOR CONTINUATION
  - CONSTRUCT FIRE HYDRANT WITH 10" X 6" X 10" FLG X PO TEE AND 6" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3
  - INSTALL 4" HDPE, LENGTH AS SHOWN ON PLANS
  - CONSTRUCT 10"X8"X10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - CONSTRUCT 10"X10"X10" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - CONSTRUCT NEW PROPANE TANK, COORDINATE TANK PLACEMENT & PIPE TO BUILDING LOCATIONS WITH GAS DESIGN PLANS. FOUNDATION AND SEISMIC BRACING FOR TANK AS REQUIRED SHALL BE BY STRUCTURAL ENGINEER.
  - INSTALL 36" ADS STORM DRAIN PIPE, LENGTH AND SLOPE AS SHOWN ON PLANS
  - INSTALL SANITARY SEWER CLEAN-OUT AS PER DETAIL 7, SHEET C6.6
  - INSTALL SANITARY SEWER LATERAL AS PER DETAIL 6, SHEET C6.6
  - SEE PLUMBING PLANS FOR SEWER CONTINUATION
  - CONSTRUCT 36"X36" 3R CATCH BASIN AS PER DETAIL 6, SHEET C6.5
  - CONSTRUCT IV-A MANHOLE AS PER DETAIL 5, SHEET C6.5
  - CONSTRUCT FIRE HYDRANT WITH 8" FLG X PO TEE WITH 8" X 6" REDUCER AND 8" FLG X PO GATE VALVE AS PER DETAIL 1 AND DETAIL 3, SHEET C6.7. FIRE HYDRANT SHALL BE LOCATED MIN 5' BEHIND BACK FACE OF CURB OR IF FIRE HYDRANT IS SUBJECT TO VEHICULAR DAMAGE INSTALL BOLLARDS TO PROTECT FIRE HYDRANT AS PER DETAIL 6, SHEET C6.3
  - INSTALL 8" 45" FLG X FLG ELBOW WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - CONSTRUCT 8" FLG TEE WITH THRUST BLOCKS AS SPECIFIED PER DETAIL 7, SHEET C6.7. ALL THRUST BLOCKS SHALL BE INSPECTED BY TMFPD BEFORE THEY ARE COVERED
  - CONSTRUCT FIRE RISER CONNECTION AS PER DETAIL 3, SHEET C6.5

NOTE: ALL ON-SITE UTILITY BACKFILL SHALL BE CLASS A MATERIAL.

WASHOE COUNTY BUILDING DEPT.  
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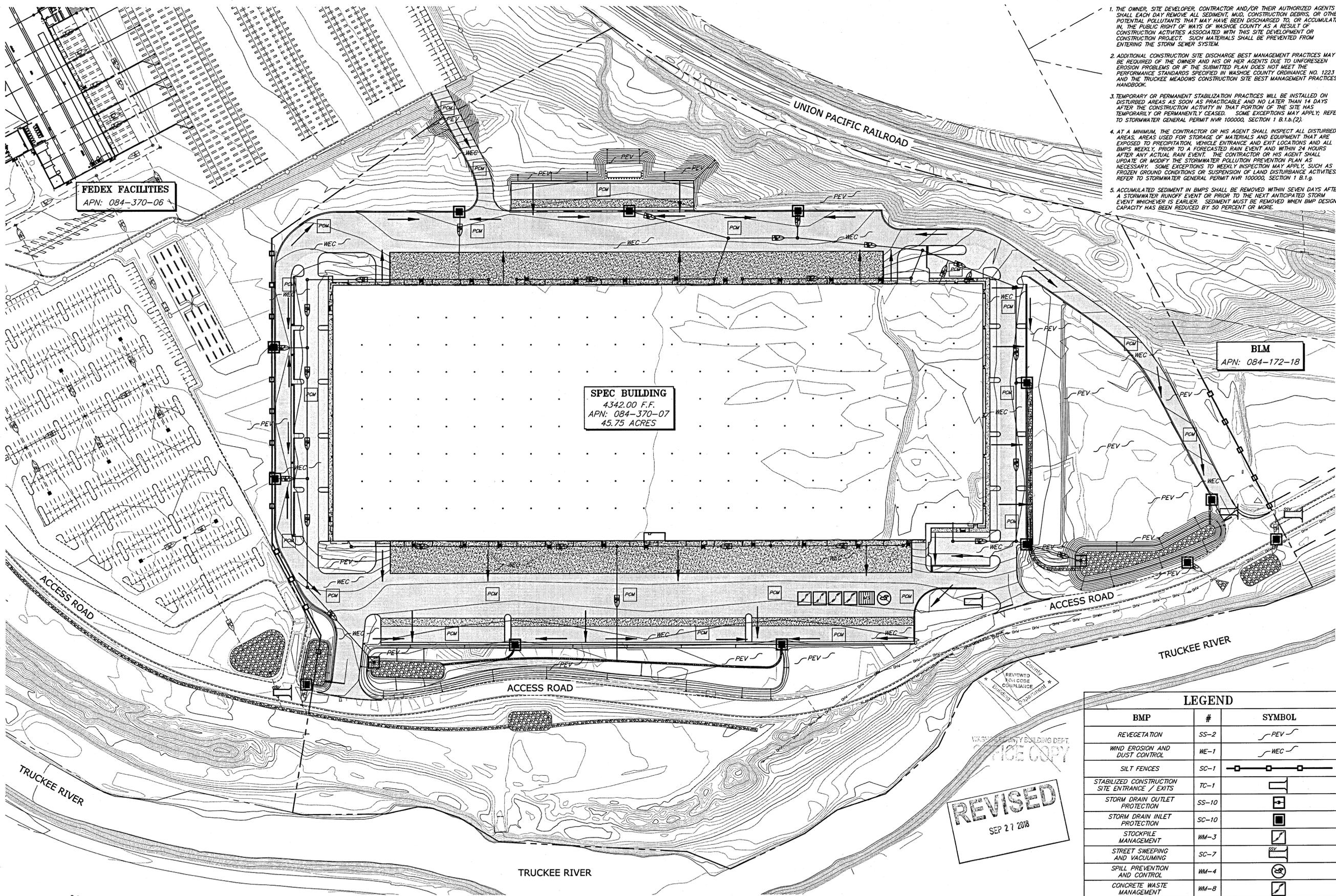


C4.4

1"=40'-0" MUSTANG INDUSTRIAL PARK 18122\_C44



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- STORMWATER NOTES:**
1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHT OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
  2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNPREDICTED EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY ORDINANCE NO. 122.3 AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
  3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR 100000, SECTION 1 B.1.b.(2).
  4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTION MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR 100000, SECTION 1 B.1.g.
  5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

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PROJECT/CLIENT: # 18091

DATE: 06/14/16  
 09/26/18

SUBMITTAL: SUBMITTAL SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

SHEET TITLE: BMP PLAN

**C5.1**

**LEGEND**

BMP	#	SYMBOL
REVEGETATION	SS-2	
WIND EROSION AND DUST CONTROL	WE-1	
SILT FENCES	SC-1	
STABILIZED CONSTRUCTION SITE ENTRANCE / EXITS	TC-1	
STORM DRAIN OUTLET PROTECTION	SS-10	
STORM DRAIN INLET PROTECTION	SC-10	
STOCKPILE MANAGEMENT	WM-3	
STREET SWEEPING AND VACUUMING	SC-7	
SPILL PREVENTION AND CONTROL	WM-4	
CONCRETE WASTE MANAGEMENT	WM-8	
VEHICLE AND EQUIPMENT FUELING	NS-9	
VEHICLE AND EQUIPMENT MAINTENANCE	NS-10	
MATERIAL DELIVERY STORAGE	WM-1	
PAVEMENT CONSTRUCTION MANAGEMENT	NS-3	
GRADED FLOW DIRECTION		

1"=80'-0" MUSTANG INDUSTRIAL PARK 18122.C51

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**BMP PLAN**  
 SCALE: 1" = 80'-0"

**REVISED**  
 SEP 27 2018

WASHOE COUNTY BUILDING DEPT.  
 RECEIVED

# GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE WASHOE COUNTY DEVELOPMENT CODE, THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (2013 EDITION), AND THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION," ADOPTED AND DISTRIBUTED BY THE WASHOE COUNTY, INCLUDING ANY ADDITIONS OR MODIFICATIONS THAT ARE SET FORTH IN THE DRAWINGS OR SPECIFICATIONS.
- ALL CONSTRUCTION SHALL MEET THE WASHOE COUNTY PUBLIC WORKS DESIGN MANUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES AND CONFORM TO THE LATEST O.S.H.A. REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN AN ON-GOING DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS, IN ORDER TO CONFORM WITH THE LATEST FEDERAL, STATE, AND COUNTY AIR POLLUTION REGULATIONS. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL, A DUST CONTROL PLAN TO WASHOE COUNTY COMMUNITY DEVELOPMENT & PUBLIC WORKS DEPARTMENT & NDEP AIR POLLUTION CONTROL DIVISION PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL PROVIDE 24 HOURS DUST CONTROL. CONTRACTORS SHALL MAKE SURE THAT THERE IS NOT DUST BLOWING ACROSS USA PARKWAY AND COUNTY STREETS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS LOST ON PAVED STREETS, ON-SITE OR OFF-SITE. AT THE CLOSE OF EACH DAY THE CONTRACTOR SHALL LEAVE THE SITE AND OFFSITE AREAS IN A CLEAN AND ORDERLY FASHION. ALL DEBRIS SHALL BE REMOVED FROM THE SITE OR PLACED IN A GARBAGE RECEPTACLE.
- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER, CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO INSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL, ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE WORK, UTILITY COMPANIES, TELEPHONE COMPANIES, CABLE TELEVISION COMPANIES, AND ANY OTHER ENTITY IMPACTED BY THE WORK 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL GIVE 24 HOURS PRIOR NOTICE FOR ALL CONSTRUCTION STAKING AND INSPECTIONS REQUIRED DURING CONSTRUCTION.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED BY THE APPLICATION OF AN APPROVED DUST PALLIATIVE AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES REQUIRED TO SECURE ANY AND ALL PERMITS NECESSARY TO PERFORM WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL UTILITY LOCATIONS, SIZES, AND DESCRIPTIONS AS SHOWN ARE FROM SURFACE OBSERVATIONS USED IN CONJUNCTION WITH REFERENCE MAPS, DRAWINGS, AND VERBAL STATEMENTS SUPPLIED BY UTILITY COMPANIES, AND MAY NOT BE WHOLLY ACCURATE OR RELIABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES IN THE FIELD EITHER BY ACTUAL POT-HOLING OR VISUALLY, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WHICH MAY BE AFFECTED BY THE WORK TO OBTAIN ASSISTANCE IN THE LOCATION OF EXISTING MAINS AND SERVICE CONNECTIONS. THE CONTRACTOR SHALL ALSO CALL U.S.A. DIG (1-800-227-2600) PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SIGNING, BARRICADES AND TRAFFIC DELINEATION TO CONFORM TO THE STATE OF NEVADA, DEPARTMENT OF TRANSPORTATION, "NEVADA WORK ZONE TRAFFIC CONTROL MANUAL," AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.
- THE WORK IN THIS CONTRACT INCLUDES ALL ONSITE AND OFFSITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING CONSTRUCTION, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES, DIVISION OF HISTORIC PRESERVATION AND ARCHEOLOGY FOR THEIR INVESTIGATION OF THE DISCOVERY. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO WORKING DAYS FROM THE DATE OF NOTIFICATION.
- ALL DIMENSIONS AND DISTANCES ARE TO FRONT FACE OF CURB, CURB RETURN, FACE OF BUILDING, FACE OF WALL, FLOW LINE, PROPERTY LINE, CENTER OF STRIPING, CENTER LINE OF PIPE OR MANHOLE, OR END OF IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, UTILITIES, TELEPHONE, AND CABLE TELEVISION. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR AND/OR REPLACEMENT OF ANY IMPROVEMENTS (NEW OR EXISTING) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION, EITHER AS A DIRECT RESULT OF HIS ACTIVITIES OR HIS FAILURE TO ADEQUATELY PROTECT THE IMPROVEMENT.
- THE CONTRACTOR SHALL UPON COMPLETION OF THE PROJECT, PREPARE AND SUBMIT TO THE OWNER OR HIS REPRESENTATIVE, RECORD DRAWINGS INDICATING BY DIMENSION AND DESCRIPTION ANY FACILITY CONSTRUCTED CONTRARY TO THAT SHOWN ON THE DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS.
- PRIOR TO THEIR INCORPORATION INTO THE WORK, THE CONTRACTOR SHALL SUBMIT FOR THE ENGINEER'S APPROVAL, SHOP DRAWINGS AND MATERIAL SPECIFICATIONS FOR ALL MATERIALS TO BE USED ON THE PROJECT TO INCLUDE, BUT NOT BE LIMITED TO, ASPHALTIC CONCRETE AND PORTLAND CEMENT CONCRETE MIX DESIGN, AGGREGATE BASE QUALIFICATIONS, PIPE BEDDING, SELECT BACKFILL, PRECAST CONCRETE, CAST IRON GRATES AND COVERS, PIPING, FENCING, AND SIGNS.
- THE CONTRACTOR SHALL AT ALL TIMES, PROVIDE AND MAINTAIN EMERGENCY ACCESS TO THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE PROTECTION AGENCY HAVING JURISDICTION OVER THE PROJECT SITE.
- ALL QUANTITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND USED ONLY FOR PERMIT AND BOND PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE HIS OWN QUANTITY ESTIMATES FOR BIDDING AND CONSTRUCTION PURPOSES.
- INSPECTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE WASHOE COUNTY STANDARDS OR THE STANDARD SPECIFICATIONS, WHICHEVER IS THE MORE STRINGENT.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF EVENTS TO THE ENGINEER AND DEVELOPER AND UPDATE IT EVERY WEEK, OR SUSTAIN WORK UNTIL IT IS COMPLETED, WITH NO TIME DELAYS IN THE CONTRACT PERIOD. THE SCHEDULE IS FOR THE OWNER AND HIS COORDINATION OF THE OVERALL OPERATION OF THE CONSTRUCTION. THE CONTRACTOR SHALL IN NO WAY IMPEDE THE OVERALL PERFORMANCE OF THE OWNER'S OPERATIONS.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER PRIOR TO ITS INCORPORATION INTO THE WORK SHOP DRAWINGS, MATERIAL SPECIFICATIONS FOR ALL MATERIALS TO BE USED IN THE PROJECT TO INCLUDE, BUT NOT LIMITED TO, ASPHALTIC CONCRETE AND PORTLAND CEMENT MIX DESIGN, AGGREGATE BASE QUALIFICATIONS, PIPE BEDDING, SELECT BACKFILL, CAST CONCRETE, CAST IRON GRATES AND COVERS, PIPING, FENCING, BOXES AND COVERS, AND SIGNS.
- ALL UNDERGROUND PIPING AND CONDUITS SHALL HAVE THEIR IDENTIFICATIONS WRITING ON MATERIALS FACING UPWARD TO EASILY BE SEEN BY THE WASHOE COUNTY INSPECTOR.

## DEMOLITION NOTES:

- THE CONTRACTOR MAY SALVAGE ITEMS NOT SPECIFICALLY DESIGNATED AS NON-SALVAGEABLE WITH WRITTEN PERMISSION FROM THE ENGINEER. THE NON-SALVAGEABLE MATERIALS SHALL BE DISPOSED OF AT THE APPROPRIATE LOCATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER OFF-SITE DISPOSAL OF MATERIALS TO BE REMOVED AND DISPOSED OF. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, AREAS TO BE USED FOR THE TEMPORARY STOCKPILING OF MATERIALS TO BE REMOVED.
- THE CONTRACTOR SHALL WET-DOWN AND TARP EVERY TRUCK LOADS LEAVING THE SITE FOR A DISPOSAL AREA. THIS PROCEDURE IS CRITICAL TO THE DUST ABATEMENT PLAN AND WILL BE STRICTLY ENFORCED.
- THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT, UNLESS SPECIFIED OTHERWISE.
- IF STRUCTURE REMOVAL CREATES SIGNIFICANT DEPRESSIONS, THE CONTRACTOR SHALL ROUND OFF THE SIDES TO 3:1 SLOPE, AND COMPACT TO 85% M.D.D.
- ALL SAWCUT LINES SHALL BE NEATLY DONE, PARALLEL AND PERPENDICULAR TO EXISTING IMPROVEMENTS. SAWCUT LINES SHALL BE ADJUSTED TO REASONABLY INCORPORATE AREAS OF DAMAGED CURB, GUTTER, SIDEWALK, AND PAVEMENT.
- REMOVE AND DISPOSE OF ANY DEBRIS THAT IS WITHIN THE CONSTRUCTION LIMITS AND IS NOT SPECIFICALLY CALLED OUT.

## SITE NOTES:

- REFERENCE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND NV ENERGY UTILITY PLANS FOR FURTHER IMPROVEMENTS WITHIN THIS CONTRACT.
- REFERENCE LANDSCAPING PLANS FOR MOUNDING, PLANTING, AND IRRIGATION CONSTRUCTION.
- ALL INSPECTION AND TESTING WILL BE TO THE WASHOE COUNTY STANDARDS OR THE "ORANGE BOOK," WHICHEVER IS MORE STRINGENT.
- ALL P.C.C. CURB, GUTTER, SIDEWALK, AND SLOPE PAVING SHALL BE CLASS AA OR DA CONCRETE (4000 PSI), WITH BROOM FINISH, UNLESS OTHERWISE INDICATED.
- ALL CONCRETE CURB AND GUTTER SHALL HAVE 1/2" EXPANSION JOINTS EVERY 30 FOOT INTERVAL, AT ALL POINTS ABUTTING BUILDINGS OR STRUCTURES, AND AT ALL CURB RETURNS UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER. EXPANSION JOINTS ABUTTING BUILDINGS AND STRUCTURES SHALL HAVE SILICONE APPLIED TO THE JOINT TO PREVENT WATER INTRUSION. WEAKENED PLANE JOINTS SHALL BE EVERY 10 FEET AND STRUCK-THRU AS THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INDICATES.
- CONCRETE SIDEWALKS SHALL HAVE 1/2" EXPANSION JOINTS AT ALL POINTS ABUTTING BUILDINGS AND STRUCTURES, EVERY 30 FOOT INTERVAL, AT ALL SIDEWALK RETURNS, AND OPPOSITE EXPANSION JOINTS IN ADJACENT CURB. EXPANSION JOINTS ABUTTING BUILDINGS AND STRUCTURES SHALL HAVE SILICONE APPLIED TO THE JOINT TO PREVENT WATER INTRUSION. WEAKENED PLANE JOINTS SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 1.2 TIMES THE WIDTH AND NO MORE FREQUENTLY THAN 0.8 TIMES THE WIDTH. IN NO CASE SHALL REGULAR INTERVALS OF WEAKENED PLANE JOINTS IN EITHER DIRECTION EXCEED 10 FEET.
- THE CONTRACTOR SHALL INSTALL PAVEMENT STRIPING AS ILLUSTRATED ON THE PLANS PER THE STANDARD SPECIFICATIONS. PARKING STALLS SHALL BE MARKED WITH A 4" SOLID "TRAFFIC WHITE" PAINTED LINES. FIRE LANES SHALL BE MARKED WITH SOLID "TRAFFIC RED" PAINTED CURBS (TOP AND FRONT FACE) OR 4" PAINTED LINES IF INDICATED. ALL SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- IN ALL AREAS WHERE NEW A.C. PAVEMENT OR PATCH IS TO MATCH EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT AND REMOVE THE EXISTING PAVEMENT 24" FROM SUCH IMPROVEMENTS OR AS INDICATED ON THE PLANS. NEW PAVEMENT OR PAVEMENT PATCH SHALL CONFORM TO THE EXISTING PAVEMENT AT THIS POINT AND TRANSITION SMOOTHLY TO THE NEW IMPROVEMENTS.
- IN AREAS WHERE NEW CURB, GUTTER OR SIDEWALK IS TO MATCH EXISTING, THE CONTRACTOR SHALL REMOVE THE EXISTING CURB, GUTTER OR SIDEWALK TO THE CLOSEST JOINT.
- THE CONTRACTOR SHALL CLOSELY COORDINATE CONSTRUCTION WITH OTHER TRADE CONTRACTORS, TO INSURE ADEQUATE ACCESS TO THE BUILDING SITE.
- THE CONTRACTOR SHALL MAINTAIN FIRE ACCESS TO ALL THE BUILDINGS TO THE SATISFACTION OF THE WASHOE COUNTY FIRE DEPARTMENT.
- ALL DIMENSIONS AND DISTANCES ARE TO FRONT FACE OF CURB, CURB RETURNS, FACE OF BUILDINGS, FACE OF WALL, FLOWLINE, PROPERTY LINE, CENTER OF STRIPING, CENTERLINE OF PIPE OR MANHOLES, CENTER OF FENCING, OR END OF IMPROVEMENTS.
- ALL QUANTITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND SHOULD BE USED FOR PERMIT PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING PURPOSES OR CONSTRUCTION PURPOSES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE HIS OWN QUANTITY ESTIMATES FOR BIDDING AND CONSTRUCTION PURPOSES

## WATER AND SANITARY SEWER CROSSING OR PARALLEL NOTES:

- WHEN THE SEWER MAIN CROSSES THE WATER MAIN, THE SEWER MAIN MUST BE LOCATED AT LEAST 18 INCHES LOWER THAN THE WATER MAIN.
- WHEN THE SEWER MAIN CROSSES A WATER SERVICE LATERAL, THE SEWER MAIN MUST BE LOCATED AT LEAST 18 INCHES LOWER THAN THE WATER SERVICE LATERAL.
- WHEN THE SEWER SERVICE LATERAL CROSSES A WATER MAIN OR WATER SERVICE LATERAL, THE SEWER SERVICE LATERAL MUST BE LOCATED AT LEAST 12 INCHES LOWER THAN THE WATER MAIN OR WATER SERVICE LATERAL.
- WHEN A SEWER OR STORM DRAIN MAIN PARALLELS A WATER MAIN OR WATER SERVICE LATERAL, THE SEWER MAIN MUST BE IN A SEPARATE TRENCH AND MUST HAVE A 10 FOOT HORIZONTAL SEPARATION.
- WHEN A SEWER SERVICE LATERAL PARALLELS A WATER MAIN OR WATER SERVICE LATERAL, THE SEWER SERVICE LATERAL MUST BE IN A SEPARATE TRENCH, BE LOCATED 12 INCHES LOWER, AND MUST HAVE A 48 INCH HORIZONTAL SEPARATION.

## GRADING PLAN GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE WASHOE COUNTY INSPECTOR AT LEAST ONE (1) WORKING DAY BEFORE WORK IS COMMENCED.
- SLOPES SHALL BE NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE COUNTY.
- FILLS SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND WASHOE COUNTY MUNICIPAL CODE (WHEN APPLICABLE).
- THE ENGINEER OF RECORD SHALL PROVIDE THE COUNTY WITH COPIES OF ALL TEST RESULTS ON A WEEKLY BASIS AND A BOUND REPORT OF THE TEST RESULTS AND INSPECTION REPORTS, ARRANGED IN CHRONOLOGICAL ORDER, AT THE COMPLETION OF THE PROJECT. THE ENGINEER OF RECORD SHALL PROVIDE THE COUNTY WITH AN OPINION REGARDING THE CONSTRUCTION SIMILAR TO THE FOLLOWING:  
ENGINEER'S OPINION  
I HEREBY CERTIFY THAT I AM A LICENSED ENGINEER IN THE STATE OF NEVADA. TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PROJECT WAS CONSTRUCTED, IN GENERAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS, AND IN MY PROFESSIONAL OPINION, IS IN COMPLIANCE WITH APPLICABLE LAWS, CODES AND ORDINANCES.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THE PLACING OF FILL.
- PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING CONSTRUCTION OF IMPROVEMENTS.
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE COUNTY AND IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED.
- ALL STREETS SHALL BE MAINTAINED FREE OF DUST AND MUD CAUSED BY GRADING OPERATIONS. ALL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE STORMWATER DISCHARGE PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.
- THE DEVELOPER'S ENGINEER OR SURVEYOR SHALL SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND THE CONTRACTOR SHALL OBTAIN INSPECTION BEFORE PLACING CONCRETE.
- FINISHED GRADING SHALL BE COMPLETED AND APPROVED, AND SLOPE PLANTING AND IRRIGATION SYSTEMS INSTALLED BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN SIX INCHES (6") IN DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE COUNTY.
- THE SOILS ENGINEER SHALL APPROVE ALL GRADING INCLUDING COMPACTION REQUIREMENTS AND THE STABILITY OF SLOPES CREATED, EXISTING OR REMAINING.
- IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY WASHOE COUNTY ENGINEERING. NO CHANGES IN THE DESIGN SHALL BE PERMITTED UNLESS WRITTEN APPROVAL IS GIVEN BY THE COUNTY.

## UTILITY NOTES:

- THE CONTRACTOR SHALL PERFORM A SEWER HANDREL TEST IN THE PRESENCE OF THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL BALL AND FLUSH ALL SEWER AND STORM DRAIN LINES IN THE PRESENCE OF THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL PERFORM AN AIR PRESSURE TEST ON ALL SEWER LINES IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AND IN THE PRESENCE OF THE ENGINEER, OWNER AND WASHOE COUNTY.
- THE CONTRACTOR SHALL AT ALL TIMES, PROVIDE AND MAINTAIN EMERGENCY ACCESS TO THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE PROTECTION AGENCY HAVING JURISDICTION OVER THE PROJECT SITE.
- ADD 4300 TO ALL FINISH GRADE OR INVERT ELEVATIONS.
- THE CONTRACTOR SHALL ADJUST ALL UTILITY BOXES, MANHOLE COVERS, DRAIN INLETS, VALVE COVERS, ETC. TO MATCH FINISH GRADE IN THE CONSTRUCTION AREA UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL EXCAVATE FOR AND EXPOSE EXISTING UNDERGROUND UTILITIES WHERE CONNECTIONS ARE TO BE MADE PRIOR TO ANY CONSTRUCTION. SHOULD ANY ADJUSTMENTS IN LINE OR GRADE BE NECESSARY, THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL COORDINATE UNDERGROUND UTILITY CONSTRUCTION IN SUCH A MANNER AS TO PREVENT ANY CONFLICT WITH UTILITY LINES CROSS.
- THE CONTRACTOR SHALL COORDINATE PRE-CONSTRUCTION MEETINGS WITH ALL GOVERNING AGENCIES AND UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- ALL PVC SANITARY SEWER PIPE SHALL BE SDR 35 UNLESS OTHERWISE NOTED; ALL PVC STORM DRAIN PIPE SHALL BE SERIES 46 UNLESS OTHERWISE NOTED; ALL RCP SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- ALL CATCH BASINS SHALL NOT HAVE SUMPS. IF SUMPS EXIST THEY SHALL BE FILLED WITH CONCRETE TO REMOVE THE SUMP.
- GAS AS SHOWN IS SCHEMATIC ONLY. FINAL DESIGN SHALL BE PERFORMED BY S.P.P.CO. CONSTRUCTION SHALL FOLLOW THOSE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET CENTERLINE ADJACENT TO ALL FIRE HYDRANTS AND PAINT THE CURB "RED" PER THE REQUIREMENTS OF THE FIRE DEPARTMENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND SUPPLY ALL MECHANICAL JOINTS REQUIRED TO OBTAIN SUFFICIENT DEPTHS AT ALL SEWER, STORM DRAIN, AND ELECTRICAL CROSSINGS. HE SHALL ALSO BE RESPONSIBLE TO DETERMINE AND SUPPLY ALL MECHANICAL JOINTS DUE TO GRADE CHANGES AT ALL SLOPES.
- PIPE BEDDING SHALL CONFORM TO REQUIREMENTS FOR CLASS "A" BACKFILL IN SECTION 200.03.02 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. BEDDING MATERIAL WHICH MEETS THE REQUIREMENTS FOR CLASS "C" BACKFILL IN SUBSECTION 200.03.04 OF THE STANDARD SPECIFICATIONS, BETTER KNOWN AS THE 3/4" PIPE BEDDING MATERIAL AS APPROVED BY WASHOE COUNTY MAY BE USED WITH THE CONSENT OF THE ENGINEER. IF CLASS "C" BACKFILL IS ALLOWED, A VIBRATING PLATE COMPACTOR OF SUFFICIENT SIZE SHALL BE REQUIRED TO MAKE A MINIMUM OF (4) FOUR PASSES OVER THE MATERIAL AT 12" LIFTS, OR UNTIL SETTLEMENT CEASES.
- ELECTRICAL, TELEPHONE, AND CABLE TV DESIGN SHALL BE PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. CONSTRUCTION SHALL FOLLOW THEIR PLANS AND SPECIFICATIONS.

## GENERAL WATER NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO WASHOE COUNTY STANDARDS.
- THE WATER SYSTEM SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE PUBLIC WORKS CONSTRUCTION. THE STANDARD DETAILS FOR PUBLIC WORKS ADOPTED BY WASHOE COUNTY (EXCEPT AS MODIFIED BY THESE PLANS OR SPECIAL PROVISIONS) AND WASHOE COUNTY UTILITY DIVISION STANDARDS.
- ALL PIPE PLUGS ARE TO BE EXTENDED 20' BEYOND END OF PAVEMENT OR 40' BEYOND VALVE, (WHICHEVER IS GREATER) WITH FLUSH VALVES AND AIR RELEASE ASSEMBLY, IF AT HIGH POINT.
- VALVES SHALL BE SPACED AT 500' MAXIMUM.
- ALL WATER SERVICE LATERALS SHALL HAVE A METER BOX INSTALLED.
- THE CONTRACTOR SHALL INSTALL A WATER METER BOX AND METER.
- WATER PIPE SHALL BE CLASS 150 PER AWWA C-900, UNLESS OTHERWISE SHOWN ON PLANS.
- SUBMITTALS FOR ALL WATER PIPE AND APPURTENANCES SHALL BE SUBMITTED AND APPROVED BY TMWA PRIOR TO CONSTRUCTION
- WATER PIPE FITTINGS SHALL BE D.I. OR C.I. IN ACCORDANCE WITH AWWA C-111 AND C-110 OR C-153.
- THE CONTRACTOR SHALL MEET WITH THE UTILITY SERVICES DIVISION PRIOR TO STARTING CONSTRUCTION ON THE WATER SYSTEM.
- WATER LINES SHALL BE CHLORINATED AND FLUSHED IN ACCORDANCE WITH AWWA STANDARDS AND TO THE SATISFACTION OF THE UTILITY DIVISION INSPECTOR PRIOR TO EXISTING WATER SYSTEM TIE IS MADE.
- NEW WATER LINES MUST PASS THE BACTERIOLOGICAL TEST AND THE PRESSURE TEST TO THE SATISFACTION OF THE UTILITY DIVISION INSPECTOR.
- THE UTILITY DIVISION INSPECTOR MUST APPROVE TIES TO EXISTING WATER LINES.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY SERVICES DIVISION 48 HOURS PRIOR TO STARTING CONSTRUCTION ON THE WATER OR SEWER SYSTEM.
- VALVES INSTALLED UNDERGROUND SHALL BE EQUIPPED WITH A VALVE BOX, COVER AND CONDUCTOR PIPE. THE COVER SHALL BE MARKED "WATER".
- VALVES SHALL BE RESILIENT-SEATED GATE VALVES, IRON BODY, BRONZE-MOUNTED, AND NON-RISING MEETING THE REQUIREMENTS OF AWWA C-509. VALVES SHALL BE INSTALLED WITH THE STEMS IN A VERTICAL POSITION. VALVES SHALL OPEN "COUNTER-CLOCKWISE" AND SHALL HAVE 2" SQUARE OPERATING NUTS. VALVES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-600 AND THE STANDARD SPECIFICATIONS.
- UNDERGROUND DETECTABLE WARNING TAPE SHALL BE AT LEAST 3" WIDE AND SHALL BE BLUE IN COLOR AND SHALL BE MARKED "CAUTION WATER LINE BURIED BELOW" AT LEAST EVERY 36".
- ALL METALLIC PARTS INSTALLED UNDERGROUND THAT DO NOT HAVE A FACTORY APPLIED PROTECTIVE COATING SHALL BE PROTECTED WITH A FIELD APPLIED BITUMINOUS COATING SUCH AS TAPE COAT, MASTIC OR EQUAL.
- REPRODUCIBLE AS-BUILT DRAWINGS SHALL BE SUPPLIED TO THE UTILITY SERVICES DIVISION PRIOR TO ACCEPTANCE OF PROJECT WITH THE FOLLOWING IDENTIFIED:

## GENERAL:

- A) CHANGE IN SLOPE OR ALIGNMENT
  - B) CHANGE IN SIZE OR TYPE OF SEWER AND WATER PIPE
- ## SEWER:
- A) DIMENSION FROM DOWN-STREAM SSMH TO EACH LATERAL
  - B) CHANGES IN DIMENSION BETWEEN SSMH'S
  - C) CHANGES IN I.E.'S
- ## WATER:
- A) CHANGES IN DIMENSIONS BETWEEN FITTINGS AND VALVES
  - B) CHANGES IN DIMENSIONS BETWEEN VALVES
  - C) CHANGES IN TYPES OF FITTINGS AND VALVES

AC	ACRES	LT	LEFT
AS	ASPHALTIC CONCRETE	M	MIDDLE ORDINATE
ACP	ASBESTOS CONCRETE PIPE	MGD	MILLION GALLONS PER DAY
BC	BUILDING CORNER	MH	MANHOLE
BDY	BOUNDARY	MOCV	MID-ORDINATE VERTICAL CURVE
BVC	BEGIN VERTICAL CURVE	MW	MONITORING WELL
BSW	BACK OF SIDEWALK	NG	NOT IN CONTRACT
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
C	CURB	OG	ORIGINAL GROUND
CC	CORNER CONCRETE	OH	OVERHEAD
C&G	CURB AND GUTTER	OS	OFFSET LINE
CB	CATCH BASIN	P	PAD ELEVATION
CFS	CUBIC FEET PER SECOND	PC	POINT OF CURVATURE
C/L	CENTERLINE	PI	POINT OF INTERSECTION
CH	CHORD	PIP	PLASTIC IRRIGATION PIPE
CI	CAST IRON	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CO	CLEANOUT	PT	POINT OF TANGENCY
CONC.	CONCRETE	PRC	POINT OF REVERSE CURVATURE
CONST	CONSTRUCTION	PVC	POLYVINYL CHLORIDE PIPE
CP	CONCRETE PIPE	R	RADIUS
CPLG	COUPLING	(R)	RADIAL
CR	CURB RETURN	REBAR	REINFORCING BARS
D	DELTA	RCB	REINFORCED CONCRETE BOX
DCV	DETECTOR CHECK VALVE	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET OR DUCTILE IRON	REF	REFERENCE
DIA	DIAMETER	RET	RETURN
DET	DETAIL	RIB	RAPID INFILTRATION BASIN
E	ELECTRICAL	RIM	RIM ELEVATION
(E)	EXISTING	ROW	RIGHT OF WAY
EL	ELEVATION OR ELBOW	RT	RIGHT
EC	END CURVE	S	SLOPE
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
ES	EDGE OF SAWCUT LINE	SF	SQUARE FOOT
EVC	END VERTICAL CURVE	SHT	SHEET
FES	FLARED END SECTION	SS	SANITARY SEWER
FF	FINISH FLOOR	STL	STEEL
FFC	FRONT FACE OF CURB	STA	STATION
FFW	FRONT FACE OF WALL	S/W	SIDEWALK
FG	FINISH GRADE	T	TRANSFORMER
FH	FIRE HYDRANT	(T)	TELEPHONE
FLG	FLANGE	TEE	PIPE CONNECTION
FL	FLOW LINE	TB	TOP OF BANK
G	GAS	TBC	TOP BACK OF CURB
(G)	GROUND	TC	TOP OF CURB
GB	GRADE BREAK	TC	TIME OF CONCENTRATION
GM	GAS METER	TG	TOP OF GRADE
GPM	GALLONS PER MINUTE	TOE	TOE OF SLOPE
GV	GAS VALVE	TP	TOP OF PAVEMENT
HOR	HORIZONTAL	TV	TELEVISION
HP	HIGH POINT	TW	TOP OF WALL
HS	HOUSE SERVICE	TYP	TYPICAL
I	INTENSITY	VC	VERTICAL CURVE
IE	INVERT ELEVATION	VERT	VERTICAL
IP	IRON PIPE SIZE	VPI	VERTICAL POINT OF INTERSECTION
IRR	IRRIGATION	W	WATER
L	LENGTH	WM	WATER METER
LF	LINEAL FEET	WV	WATER VALVE
LP	LIP OF GUTTER		
LP	LOW POINT		

## ABBREVIATIONS

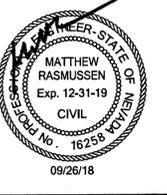
	PROPOSED TYPE 1 CURB AND GUTTER		STREET SIGN
	EXISTING TYPE 1 CURB AND GUTTER		PIPE BOLLARD
	PROPOSED MEDIAN CURB		BARBED WIRE FENCE
	EXISTING MEDIAN CURB		CHAIN LINK FENCE
	EXISTING MAJOR CONTOUR		ASPHALT CONCRETE PAVEMENT
	PROPOSED MAJOR CONTOUR		CONCRETE
	EXISTING MINOR CONTOUR		AIR RELEASE VALVE ASSEMBLY
	PROPOSED MINOR CONTOUR		PROPOSED DRAINAGE SWALE
	GRADE BREAK		EXISTING DRAINAGE SWALE
	EXISTING		RECLAIMED WATER MAIN (DASHED IF EXISTING)
	SLOPE IN PERCENT		FIRE WATER MAIN (DASHED IF EXISTING)
	ELEVATION @ FINISH GRADE		WATER MAIN (DASHED IF EXISTING)
	ELEVATION @ TOP OF CURB		SANITARY SEWER LATERAL
	ELEVATION @ GRADE BREAK		GAS MAIN (DASHED IF EXISTING)
	ELEVATION @ FLOW LINE		SPCC ELEC CONDUIT
	CATCH POINT		THRUST BLOCK
	STORM DRAIN MANHOLE (DASHED IF EXISTING)		CLEANOUT (DASHED IF EXISTING)
	CATCH BASIN		FIRE HYDRANT
	PROPERTY LINE		WATER VALVE
	LIGHT STANDARD		STORM DRAIN MAIN (DASHED IF EXISTING)
	HEADWALL		SANITARY SEWER MAIN (DASHED IF EXISTING)
	FLARED END SECTION		SINGLE WATER SERVICE (METER & BACKFLOW PREVENT)
	UTILITY POLE		SANITARY SEWER MANHOLE (DASHED IF EXISTING)
	ELBOW, TEE, CROSS		

## LEGEND

**REVISED**  
SEP 27 2018

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DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.



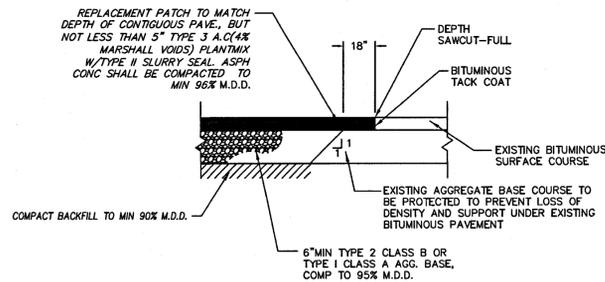
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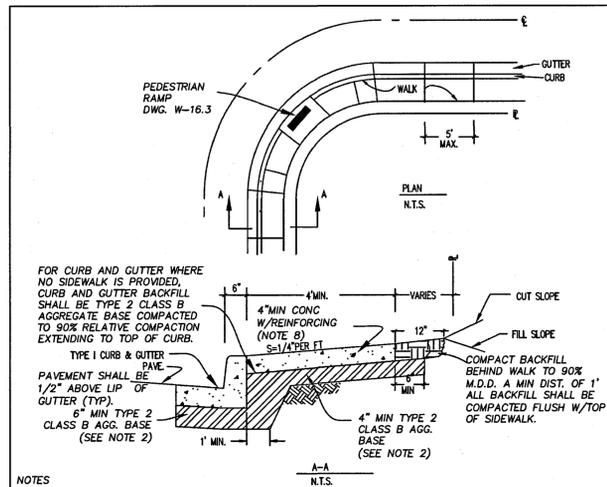
DATE: 06/14/16  
SUBMITTAL: 09/26/18  
SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

GENERAL NOTES ABBREVIATIONS LEGEND

C6.1



**1 SAWCUT DETAIL**  
SCALE: N.T.S.



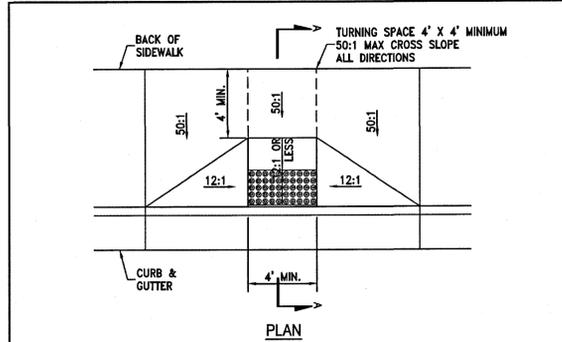
**NOTES**

- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL MEET THE FOLLOWING SPECIFICATIONS: 4,000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS W/ MIN. 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE; WATER/CEMENT RATIO 0.45 MAX; AIR ENTRAINMENT SHALL BE 4.5% - 7.5%; SLUMP SHALL RANGE FROM 1\"/>

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	REDRAWN	2/9/10p		WASHOE
2	Notes	1/11/15w		
3	Revision	8/16/16w		

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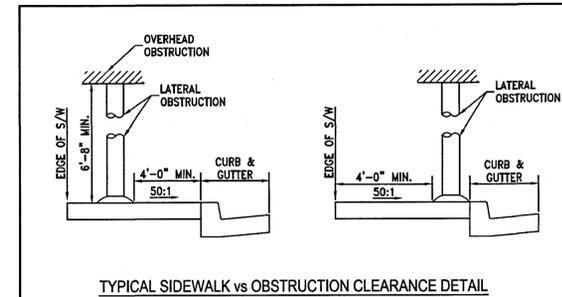
**2 SIDEWALK DETAIL**  
SCALE: N.T.S.



**SECTION A-A**

4\"/>

**3 PEDESTRIAN RAMP DETAIL**  
SCALE: N.T.S.



**TYPICAL SIDEWALK vs OBSTRUCTION CLEARANCE DETAIL**

**TRUNCATED DOMES DETAIL**

NOTE: FOR DETECTABLE TRUNCATED DOMES APPROVED MATERIALS SEE NOTE 8.

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	REDRAWN	2/9/10p		WASHOE
2	Add notes	2/9/10p		
3	Add note 5	12/11/15w		

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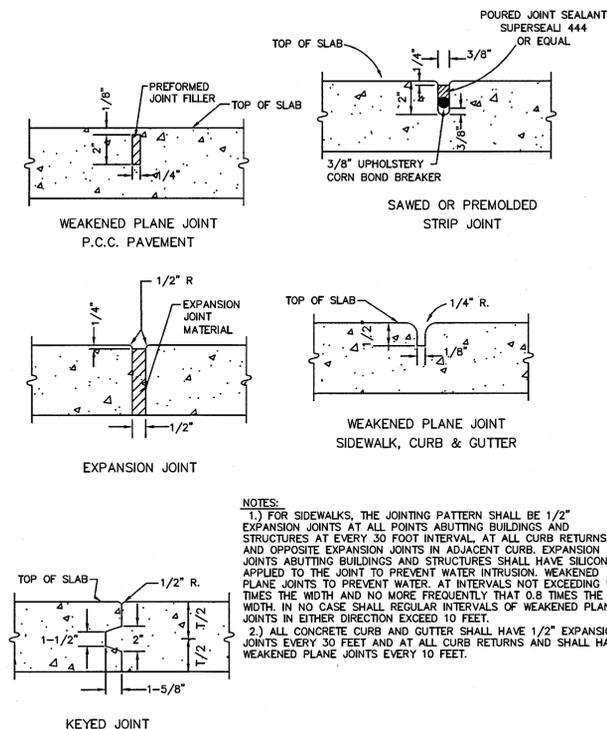
**4 PEDESTRIAN RAMP DETAIL**  
SCALE: N.T.S.

- STORM DRAIN INLETS OR SIMILAR ACCESSSES SHALL NOT BE LOCATED IN THE AREA AT THE BASE OF THE CURB RAMP OR LANDING AREA. IF OBSTRUCTIONS SUCH AS INLETS, UTILITY POLES, PULL BOXES, FIRE HYDRANTS, ETC. ARE ENCOUNTERED, THE LOCATION AND DIMENSIONS MAY BE ADJUSTED UPON APPROVAL OF THE ENGINEER.
- NO LIP SHALL BE PERMITTED AT THE CURB RAMP SLOPE TO GUTTER PAN.
- PLANTMIX BITUMINOUS SURFACE SHALL BE FLUSH WITH THE EDGE OF THE GUTTER PAN IN THE AREA OF THE CURB RAMP.
- ROUGH BROOM TEXTURE ON CURB RAMPS AND WINGS.
- DETECTABLE WARNING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL BE PLACED ON MIN. SIX (6") INCHES OF P.C.C.
- ALL SLOPE RATES ARE RELATIVE TO LEVEL AND SHALL COMPLY WITH THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) STANDARDS, CURRENT VERSION.
- GUTTER SHALL MAINTAIN POSITIVE DRAINAGE TO PREVENT PONDING.
- DETECTABLE WARNING SHALL CONSIST OF PRECAST WETSET TILES WITH MIN. SIZE OF 2' X 2', COLOR DARK RED. APPROVED PRODUCTS INCLUDE: "CASTRATAC", "TEKWAY DOME-TILES", "ARMOR CAST WET SET TILES", AND "ARCIS WET SET TILES". DETECTABLE WARNING SHALL BE CONSTRUCTED PER MANUFACTURER'S INSTALLATION GUIDELINES AND CONFORM TO ADAAG.
- CONCRETE REMOVAL SHALL BE TO NEAT SAW CUT LINES
- AGGREGATE BASE MATERIAL UNDER PEDESTRIAN RAMPS SHALL BE TYPE 2, CLASS B CRUSHED AGGREGATE BASE. MATERIALS SHALL CONFORM TO SSPWC SECTION 200.
- FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH MAX. WATER-CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. MIX DESIGN SHALL CONFORM TO THE REQUIREMENTS OF SECTION 337 OF STANDARD SPECIFICATIONS OF PUBLIC WORKS CONSTRUCTION (SSPWC). CEMENT SHALL BE TYPE II. ALL CEMENT CONCRETE SHALL HAVE A COARSE AGGREGATE GRADATION CONFORMING TO SIZE NO. 67. POLYPROPYLENE OR CELLULOSE FIBERS SHALL BE ADDED TO THE P.C.C. AT 1.5 LBS. PER CUBIC YARD. ALL MATERIALS SHALL CONFORM TO SSPWC.
- CONTRACTORS SHALL CORRECT ANY GRADE CONFLICT WITH EXISTING BOXES. THE ENGINEER SHALL MAKE THE FINAL DETERMINATION REGARDING THE DEGREE OF MODIFICATIONS REQUIRED BY THE CONTRACTOR FOR GRADE CONFLICTS BETWEEN EXISTING BOXES AND NEW PEDESTRIAN RAMPS.
- SIDEWALK AT BOTH SIDES OF RAMP MAY BE RECONSTRUCTED TO MINIMIZE THE GRADE AT A HORIZONTAL DISTANCE TO BE DETERMINED IN THE FIELD, UPON APPROVAL OF THE ENGINEER, SUBJECT TO PROWAG REQUIREMENTS. CURB AT THE BACK OF WALK MAY BE NEEDED. A TRANSITION SECTION OF SIDEWALK MAY BE NECESSARY TO MATCH CROSS SLOPE OF EXISTING SIDEWALK TO PEDESTRIAN RAMP IMPROVEMENTS. TRANSITION SECTIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONSTRUCT ROUNDED CURBS WHERE THEY INTERSECT. RADIUS SHALL BE 1 FT MINIMUM MEASURED FROM FACE OF CURB. CURBS THAT INTERSECT AT A POINT SHALL NOT BE ALLOWED.

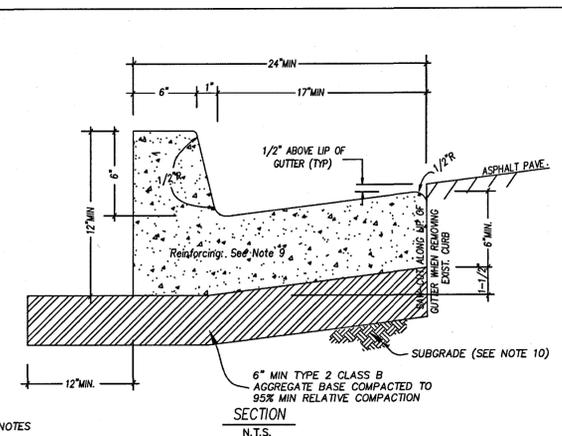
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2	NOTE 2.9	1/9/14p		
3	NOTE 1	12/11/15w		
4	Revisions	08/16/16w		

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**5 PEDESTRIAN RAMP NOTES**  
SCALE: N.T.S.



**6 P.C.C. JOINTING DETAILS**  
SCALE: N.T.S.



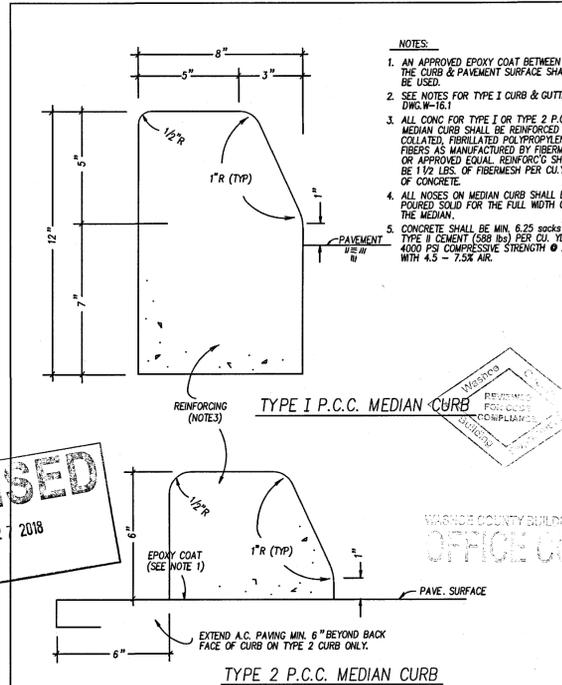
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**7 TYPE I P.C.C. CURB & GUTTER DETAIL**  
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1	REDRAWN	11/9/10p		WASHOE
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**8 MEDIAN CURB**  
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09/26/18

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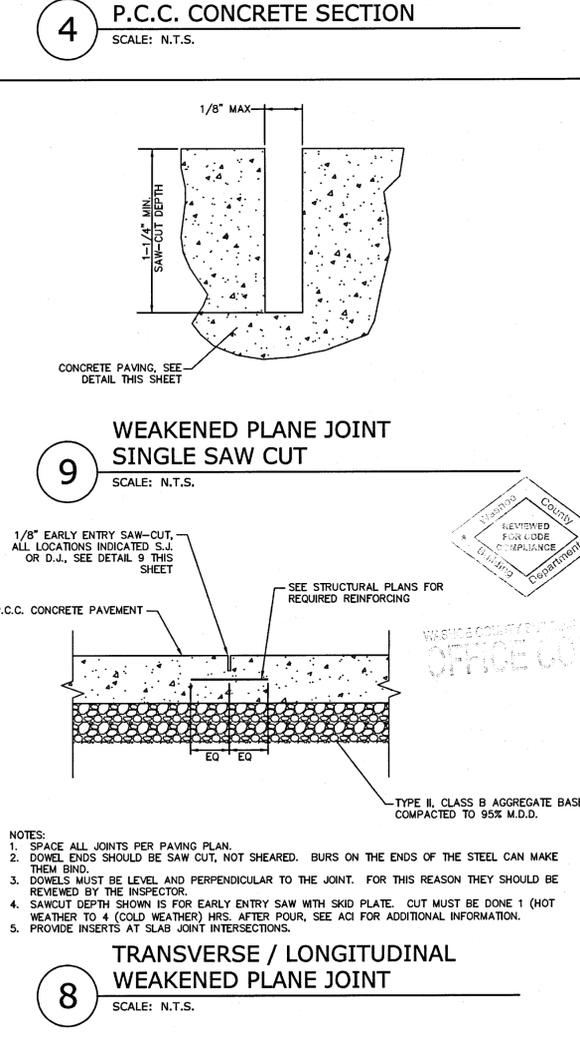
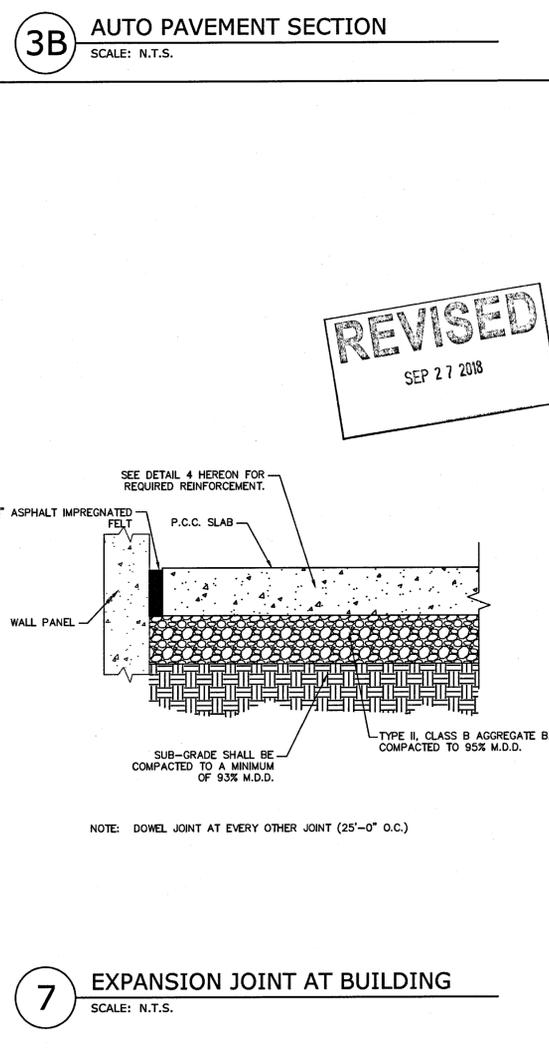
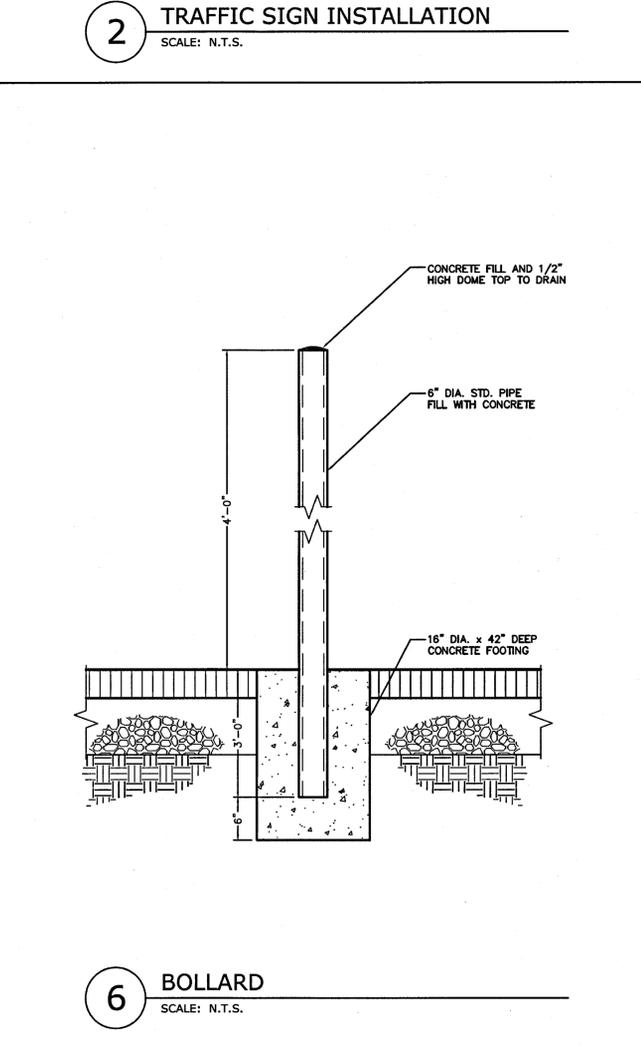
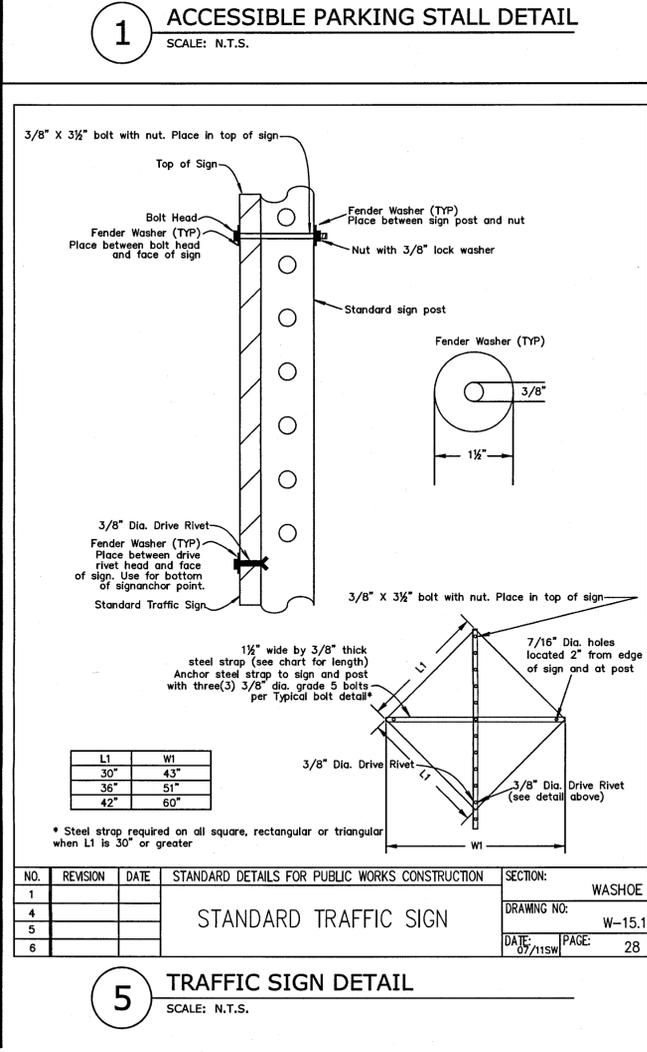
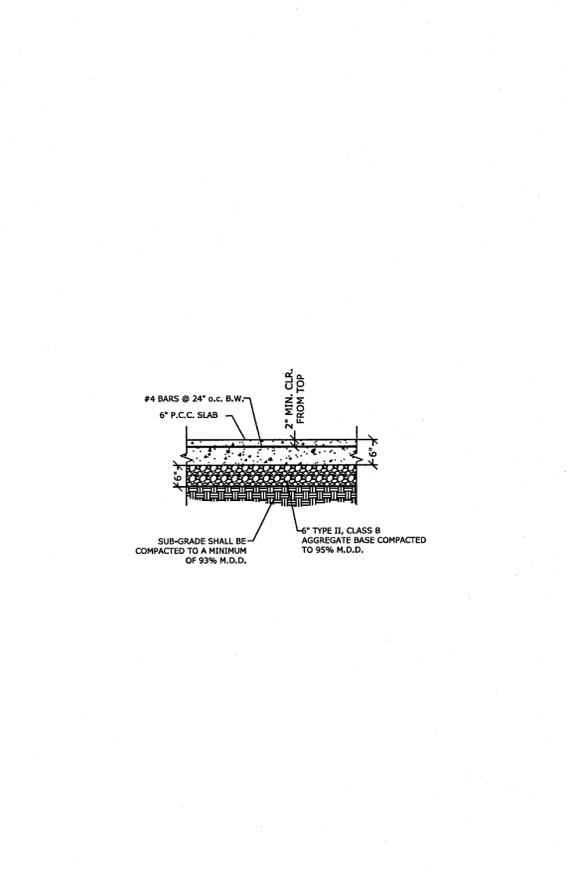
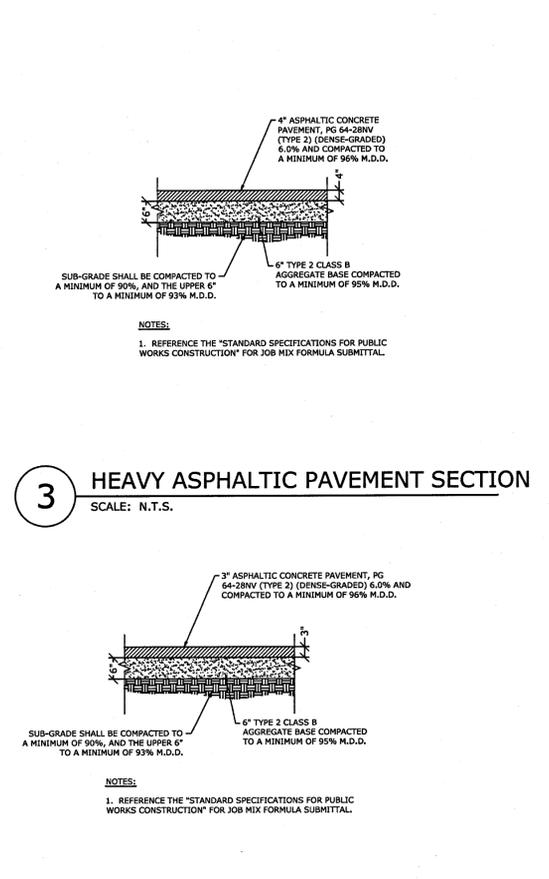
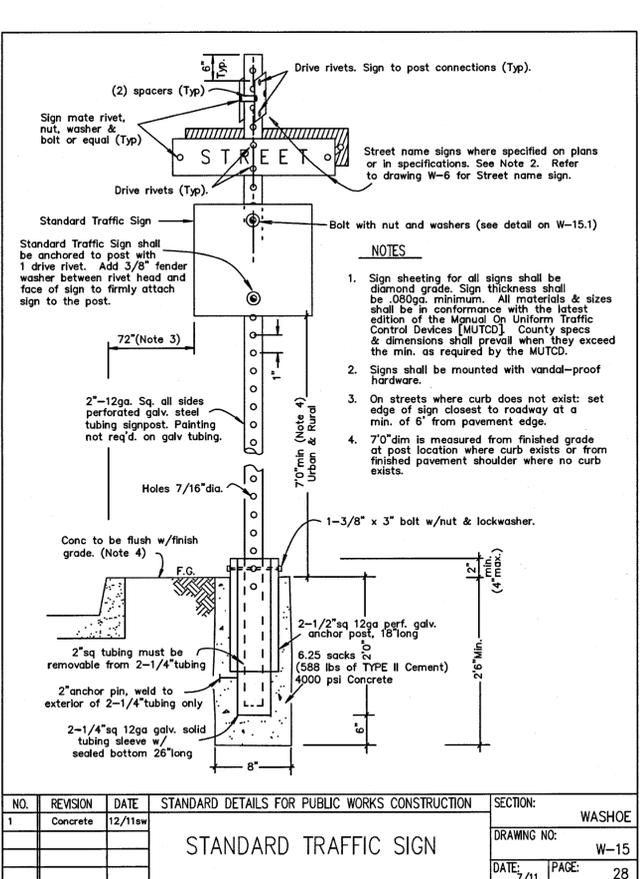
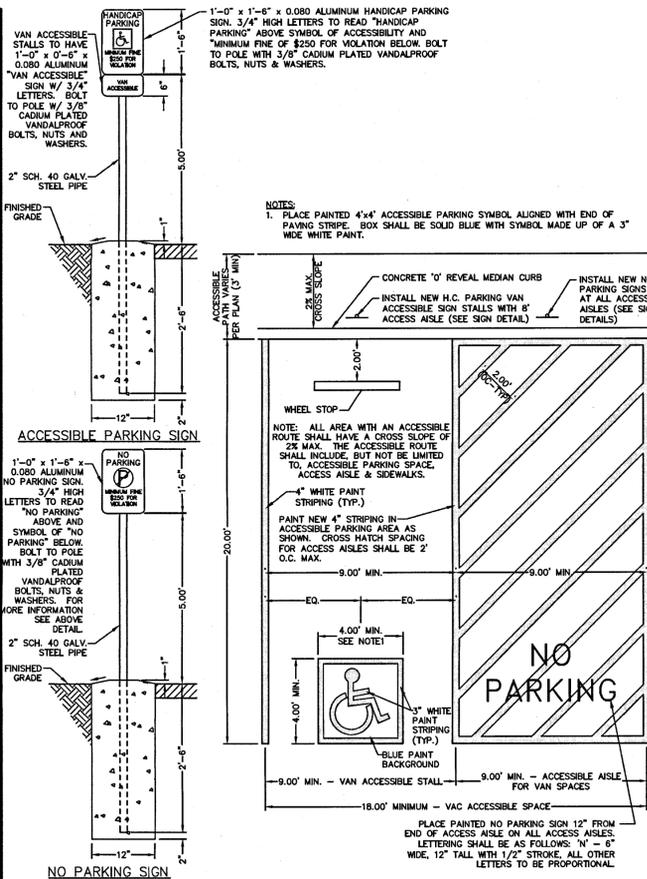
**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
Scannell Properties  
821 Meander Court, Suite 200, Medina, Minnesota 55340

PROJECT/CLIENT: MUSTANG INDUSTRIAL DEVELOPMENT  
# 18091

DATE: 06/14/16  
09/26/18

SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIFT

SHEET TITLE: DETAIL SHEET  
SHEET: C6.2



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Drawn: J.P.B. / W.T.G.  
Designed: J.P.B.  
Checked/Stamped: MATT K. RASMUSSEN, P.E.

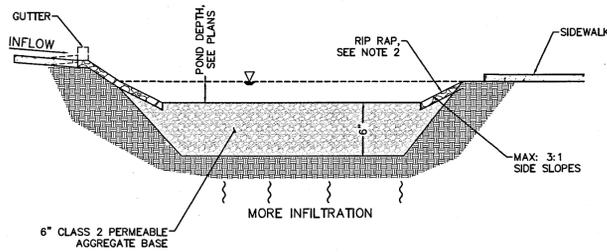
Stamp: MATTHEW RASMUSSEN, CIVIL, Exp. 12-31-19, 16255 KIVULIN ROAD, RENO, NV 89521, 09/26/18

Designer: TECTONICS DESIGN GROUP, 730 Sandhill Rd., #250, Reno, Nevada 89521, tel 775-824-9988, fax 775-824-9986, www.tectonicsdesigngroup.com

Project/Client: MUSTANG INDUSTRIAL DEVELOPMENT, 12475 MUSTANG ROAD, Washoe County, NV, Scannell Properties, 821 Meander Court, Suite 200, Medina, Minnesota 55340

Submittal Record: #1: 18091, DATE: 06/14/16, SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945, 09/26/18, CLIENT UPDATES, BUILDING SHIFT

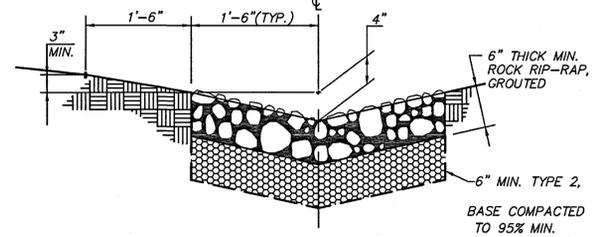
Sheet Title: DETAIL SHEET, SHEET: C6.3



**NOTES:**

1. ALL VEGETATION, DEBRIS AND BLOCKAGES SHALL REQUIRE REMOVAL IN THE BOTTOM OF THE DETENTION BASIN INCLUDING ONE FOOT UP THE SIDE SLOPES AT A MINIMUM OF ONCE EVERY TWO YEARS WHICH SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER (DETENTION BASIN SHALL BE PRIVATE).
2. ANY SLOPE OVER 3:1 SHALL BE 6" - 12" ROCK RIP RAP OVER FILTER FABRIC & ANY SLOPE UNDER 4:1 SHALL BE 4" MINUS COBBLE OR ROCK RIP RAP.

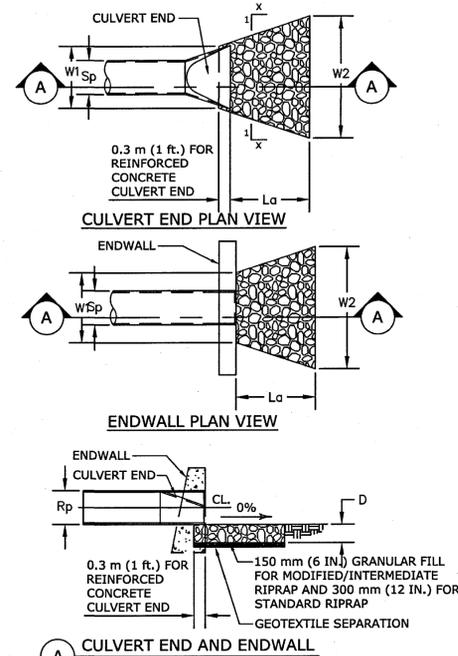
**1 INFILTRATION BASIN**  
SCALE: N.T.S.



**NOTES:**

1. FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ± 1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. POLYPROPYLENE FIBERS SHALL BE ADDED TO THE P.C.C. PER THE MANUFACTURER'S RECOMMENDATIONS.
2. MAXIMUM FLOWLINE GRADE FOR A TYPE I SHALL BE 6%, SEE NOTE 5 SHEET C3.1 FOR SECTION OVER 2:1 SIDE SLOPE OF EXISTING DRAINAGE CHANNEL.
3. MAXIMUM CHANGE IN HORIZONTAL ALIGNMENT SHALL BE 10 DEGREES.
4. PCC DRAINAGE SWALES SHALL HAVE EXPANSION JOINTS EVERY 30 FEET AND WEAKENED PLANE JOINTS EVERY 10 FEET.
5. ACCESS SHALL BE PROVIDED TO THE POINT OF DISCHARGE IN ACCORDANCE WITH CITY STANDARDS.

**2 GROUDED RIP-RAP LINED SWALE**  
SCALE: N.T.S.

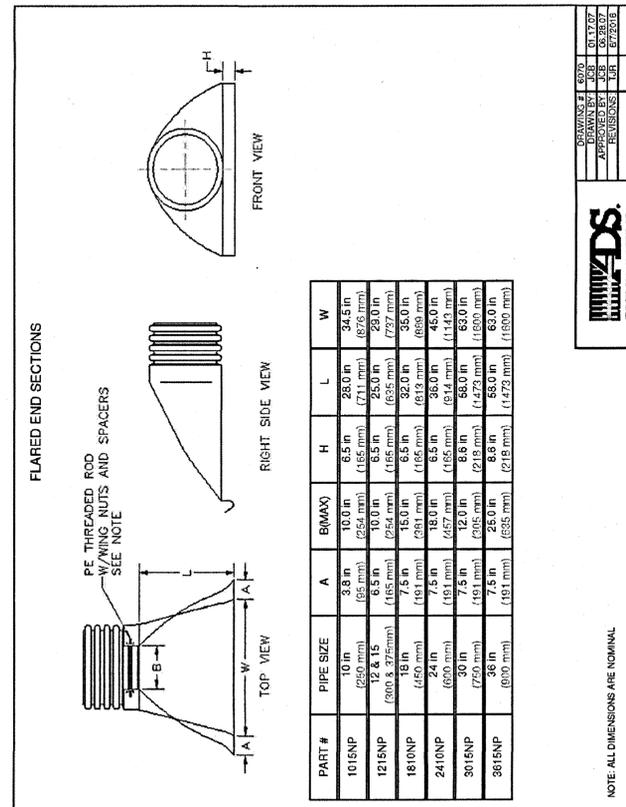


**LEGEND**

- Sp = MAX. INSIDE PIPE SPAN (NON-CIRCULAR SECTIONS)  
INSIDE PIPE DIAMETER (CIRCULAR SECTIONS)
- Rp = MAX. INSIDE PIPE RISE (NON-CIRCULAR SECTIONS)  
INSIDE PIPE DIAMETER (CIRCULAR SECTIONS)
- La = LENGTH OF RIPRAP APRON MEASURED FROM THE END OF CULVERT END SECTION OR FACE OF ENDWALL
- d = 300 mm (12 IN.) MODIFIED RIPRAP  
450 mm (18 IN.) INTERMEDIATE RIPRAP  
900 mm (36 IN.) STANDARD RIPRAP

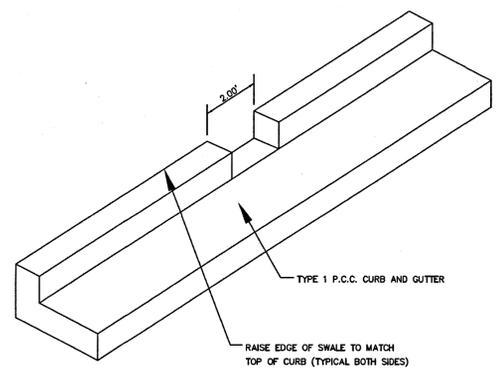
	X	W1	W2
TYPE A RIPRAP APRON	3	3Sp	3Sp + 0.7 La
TYPE B RIPRAP APRON	5	3Sp	3Sp + 0.4 La

**3 NOT USED**  
SCALE: N.T.S.

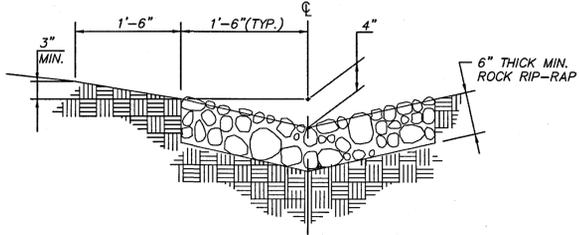


PART #	PIPE SIZE	A	B(MAX)	H	L	W
101ENP	10 in (250 mm)	3.8 in (95 mm)	10.0 in (250 mm)	6.5 in (165 mm)	28.0 in (711 mm)	34.6 in (876 mm)
121ENP	12 & 15 (300 & 375 mm)	6.5 in (165 mm)	10.0 in (250 mm)	6.5 in (165 mm)	28.0 in (711 mm)	34.6 in (876 mm)
181ONP	18 in (450 mm)	7.5 in (191 mm)	18.0 in (450 mm)	6.5 in (165 mm)	32.0 in (813 mm)	35.0 in (889 mm)
241ONP	24 in (600 mm)	7.5 in (191 mm)	18.0 in (450 mm)	6.5 in (165 mm)	32.0 in (813 mm)	35.0 in (889 mm)
301ENP	30 in (750 mm)	7.5 in (191 mm)	18.0 in (450 mm)	6.5 in (165 mm)	32.0 in (813 mm)	35.0 in (889 mm)
361ENP	36 in (900 mm)	7.5 in (191 mm)	18.0 in (450 mm)	6.5 in (165 mm)	32.0 in (813 mm)	35.0 in (889 mm)

**4 FLARED END SECTION**  
SCALE: N.T.S.



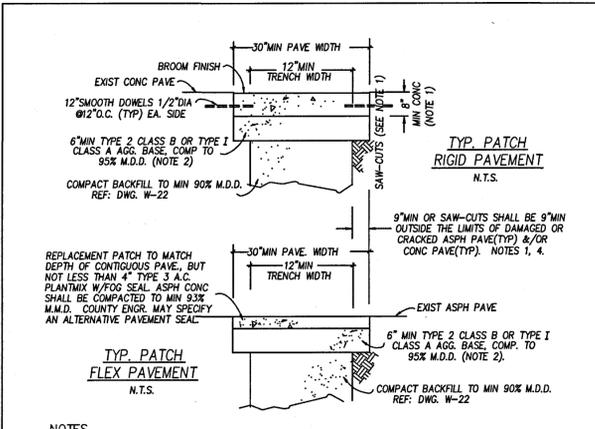
**5 CURB OPENING**  
SCALE: N.T.S.



**NOTES:**

1. MAXIMUM FLOWLINE GRADE FOR A TYPE I SHALL BE 6%.
2. MAXIMUM CHANGE IN HORIZONTAL ALIGNMENT SHALL BE 10 DEGREES.
3. PCC DRAINAGE SWALES SHALL HAVE EXPANSION JOINTS EVERY 30 FEET AND WEAKENED PLANE JOINTS EVERY 10 FEET.
4. ACCESS SHALL BE PROVIDED TO THE POINT OF DISCHARGE IN ACCORDANCE WITH CITY STANDARDS.

**6 RIP RAP CHANNEL**  
SCALE: N.T.S.



**NOTES:**

1. ALL CONC REMOVAL & REPLACEMENT SHALL BE TO SAW-CUT LINES & SHALL BE DONE BY EXCAVATION CONTRACTOR OR SUBCONTRACTOR. ALL SAW-CUTS SHALL BE VERT & IN STRAIGHT LINES PARALLEL OR PERPENDICULAR TO TRENCH OR TO SATISFACTION OF THE CO. ENGINEER. CONC SHALL BE MIN 6.25 SACKS OF TYPE II CEMENT (588 lbs) 4000PSI WITH FIBERMESH W/4.5-7.5% AIR.
2. UNPAVED STREET SHALL RECEIVE 6" MIN BASE COURSE IN ACCORDANCE W/LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL ASPH REMOVAL SHALL BE TO SAW-CUT LINES. ALL ASPH CONC SHALL BE TYPE 3 PLANTMIX. ALL SAW-CUTS FOR FLEXIBLE PAVE SHALL BE PERFORMED BY EXCAVATION CONTRACTOR OR SUBCONTRACTOR.
4. ALL CONST SHALL BE IN ACCORDANCE W/LATEST EDITION OF STD. SPECIFICATIONS FOR PUBLIC WORKS CONST.
5. USE OF ROCK WHEEL TRENCHING MACHINES OR SIMILAR EQUIP SHALL NOT BE PERMITTED WITHIN PAVED AREAS OR WITHIN 1 FT OF EDGE OF PAVING.
6. CONC SLURRY W/MIN OF 1 SACK OF CEMENT PER CU.YD. OF SLURRY OR OTHER APPROVED MIX DESIGN MAY BE USED FOR BASE COURSE, BEDDING OR BACKFILL IF APPROVED BY CO. ENGINEER & UTILITY COMPANIES.
7. PERMANENT RESURFACING SHALL NOT BE PLACED ON TRENCHES BACKFILLED W/CONC SLURRY FOR A MIN OF 7 DAYS AFTER PLACEMENT OF THE CONC SLURRY OR SIMILAR MATERIAL.
8. ALL TRENCHES SHALL BE PATCHED W/COLD PATCH WITHIN 24 HRS AFTER BACKFILLING IS COMPLETED, OR COVERED W/STEEL PLATES & BARRICADED TO SATISFACTION OF THE COUNTY ENGINEER.

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:	WASHOE
1	Widen dim's	8/03sp			
2	notes	12/05sw			
3	Conc Note	12/11sw			

**7 PERMANENT BITUMINOUS PAVEMENT PATCH**  
SCALE: N.T.S.

- NOTES:**
1. TRUCKEE MEADOWS PERMANENT PATCH TO MATCH THE DEPTH OF THE CONTIGUOUS PAVEMENT, BUT NO LESS THAN 4 INCHES AND NO MORE THAN 8 INCHES.
  2. INCLINE VILLAGE PERMANENT PATCH TO MATCH THE DEPTH OF THE CONTIGUOUS PAVEMENT, BUT NO LESS THAN 6 INCHES AND NO MORE THAN 8 INCHES.
  3. A STREET CUT PERMIT MUST BE OBTAINED FROM WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT PRIOR TO CUTTING ANY PUBLIC RIGHT-OF-WAY.
  4. ALL CONCRETE AND ASPHALT REMOVAL AND REPLACEMENT SHALL BE TO SAW-CUT LINES AND SHALL BE DONE BY EXCAVATION CONTRACTOR OR SUBCONTRACTOR. ALL SAW-CUTS SHALL BE VERTICAL AND IN STRAIGHT LINES PARALLEL OR PERPENDICULAR TO THE TRENCH OR TO THE SATISFACTION OF THE COUNTY ENGINEER.
  5. RIGID PAVEMENT: IF SAW-CUT IS WITHIN 36° OF EDGE OR JOINT ON PCC PAVE, REMOVE PCC TO EXISTING EDGE AND REPLACE ENTIRE SECTION. FLEXIBLE PAVEMENT: IF SAW-CUT IS WITHIN 36° OF EDGE OF PAVEMENT, EDGE OF VALLEY GUTTER, LIP OF CURB AND GUTTER, OR A PREVIOUS PATCH, REMOVE EXISTING PAVEMENT TO THAT EDGE AND REPLACE THE ENTIRE SECTION.
  6. CONCRETE SHALL BE A MINIMUM OF 6.25 SACKS OF TYPE II CEMENT (588 POUNDS PER CUBIC YARD OF CONCRETE) 4000PSI WITH FIBERMESH AND 4.5% TO 7.5% AIR.
  7. HOT MIX ASPHALT SHALL BE TYPE 3, PG64-28 (OR COUNTY APPROVED EQUIVALENT), 3% VOIDS, 50 BLOWS PER SIDE MIX WITH LIME AND NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT COMPACTED TO A MINIMUM OF 93% RICE RELATIVE COMPACTION.
  8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  9. DEPTH OF BASE TO BE 6" MINIMUM OR MATCH EXISTING BASE IF GREATER, INCLUDING UNPAVED STREETS.
  10. USE OF ROCK WHEEL TRENCHING MACHINES OR SIMILAR EQUIPMENT SHALL NOT BE PERMITTED WITHIN PAVED AREAS OR WITHIN 1 FOOT OF EDGE OF PAVING.
  11. CONCRETE SLURRY WITH MINIMUM OF 1 SACK OF CEMENT PER CUBIC YARD OF SLURRY OR OTHER APPROVED MIX DESIGN MAY BE USED FOR BASE COURSE, BEDDING OR BACKFILL IF APPROVED BY THE COUNTY ENGINEER AND UTILITY COMPANIES.
  12. PERMANENT RESURFACING SHALL NOT BE PLACED ON TRENCHES BACKFILLED WITH CONCRETE SLURRY FOR A MINIMUM OF 7 DAYS AFTER PLACEMENT OF THE CONCRETE SLURRY OR SIMILAR MATERIAL.
  13. ALL TEMPORARY PATCHES SHALL BE HOT-MIX ASPHALT A MINIMUM OF 3 INCHES THICK AND MUST BE INSTALLED WITHIN 24 HOURS AFTER THE TRENCH IS BACKFILLED, OR COVERED WITH STEEL PLATES AND BARRICADED TO THE SATISFACTION OF THE COUNTY ENGINEER.
  14. A NEGOTIATED RECONSTRUCTION, INCLUDING BUT NOT LIMITED TO GRIND AND OVERLAY, SHALL BE DETERMINED BY THE COUNTY ENGINEER DEPENDENT UPON THE EXTENT OF THE TRANSVERSE AND LONGITUDINAL EXCAVATIONS.
  15. ALL PERMANENT PAVEMENT PATCHES REQUIRE ASPHALT SEAL COATS. THE TYPE SHALL BE DETERMINED BY THE COUNTY ENGINEER.

**REVISED**  
SEP 27 2018

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:	WASHOE
1	Notes	12/05SW			
2	Conc Note	12/11SW			
3	Notes	1/15 ME			
4	Notes	2/17 BD			

**8 PERMANENT BITUMINOUS PAVEMENT PATCH**  
SCALE: N.T.S.

AS SHOWN MUSTANG INDUSTRIAL PARK 18122\_64

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MATT K. RASMUSSEN, P.E.

STAMP: MATTHEW RASMUSSEN  
Exp. 12-31-19  
CIVIL  
09/26/18

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**MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
821 Meander Court, Suite 200, Medina, Minnesota 55340  
Scannell Properties

PROJECT/CLIENT: # 18091  
DATE: 06/14/16  
SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945  
09/26/18  
CLIENT UPDATE: BUILDING SHIFT

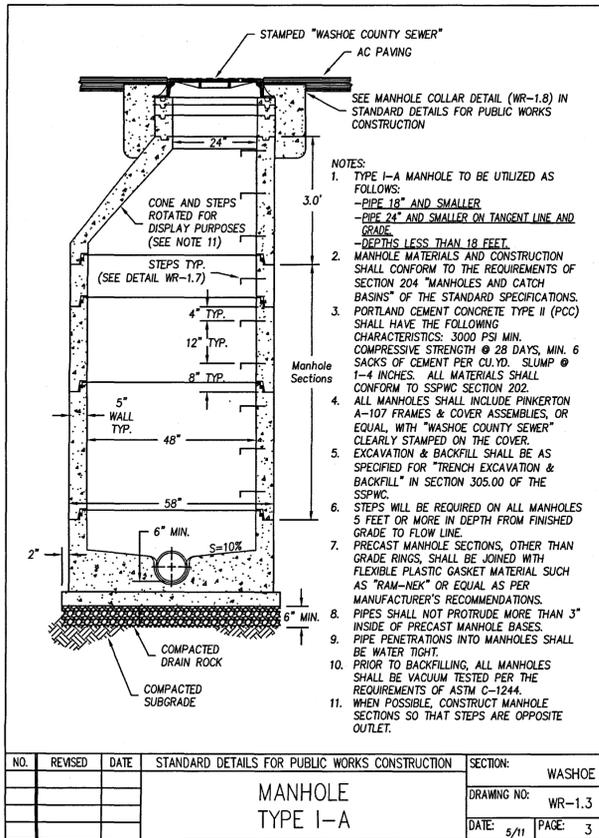
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1 Notes 12/05SW  
2 Conc Note 12/11SW  
3 Notes 1/15 ME  
4 Notes 2/17 BD

PERMANENT BITUMINOUS PAVEMENT PATCH  
PAGE 2 OF 2  
DATE: 4/24/18 PAGE: 9

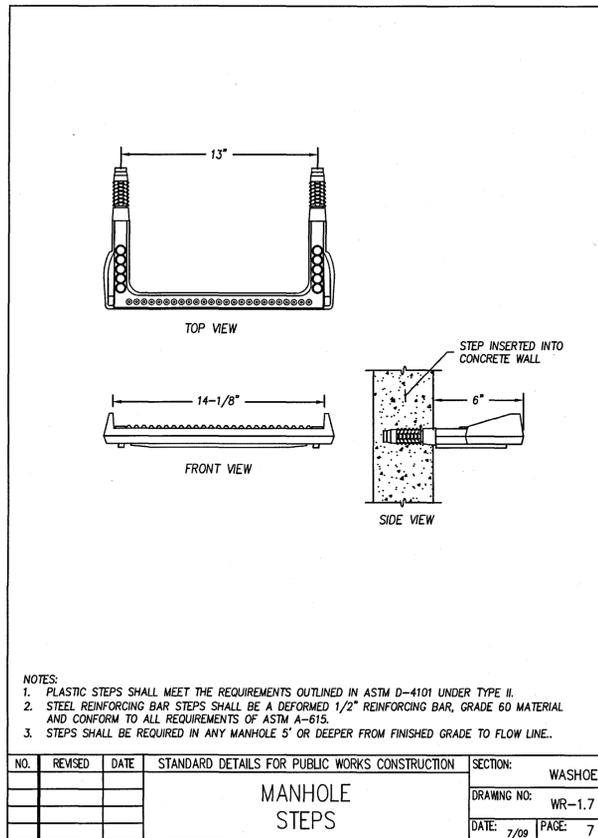
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SCALE: N.T.S.

DETAIL SHEET  
**C6.4**

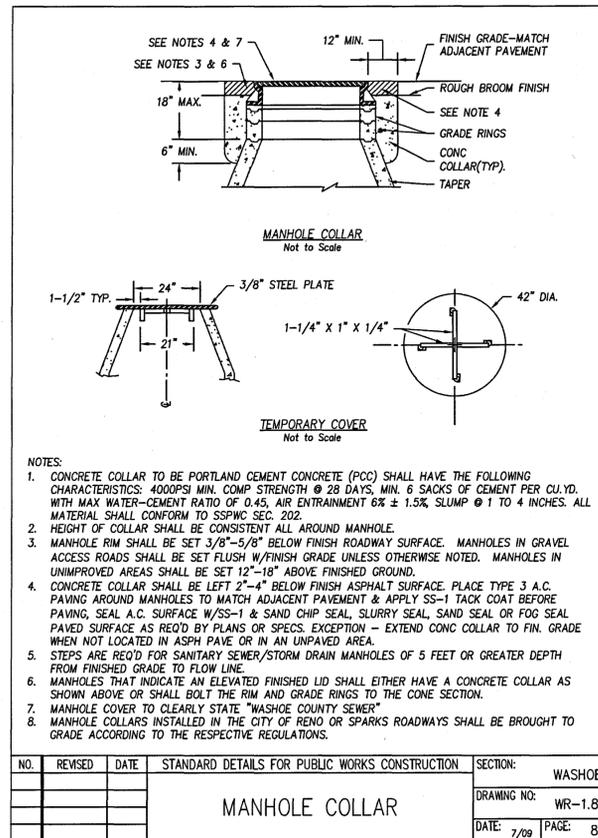




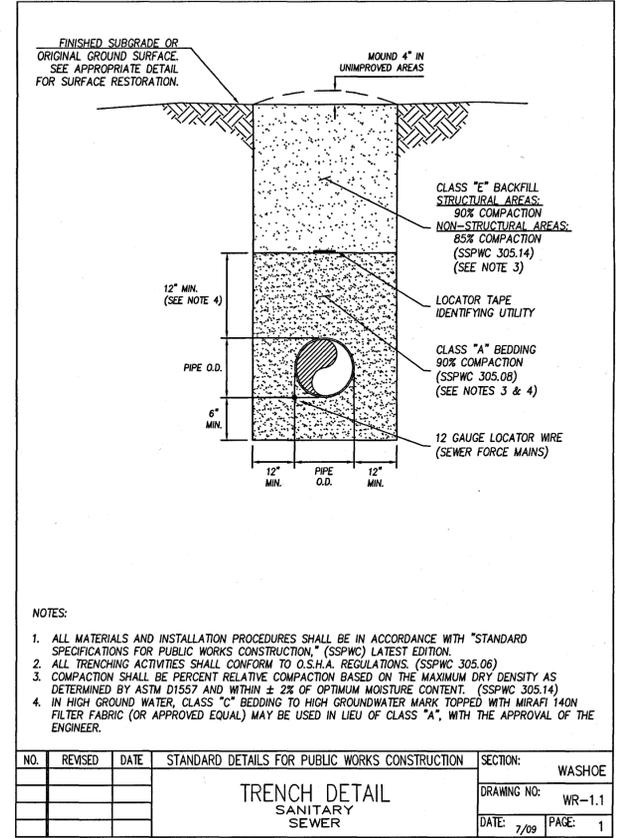
1 TYPE I-A MANHOLE  
SCALE: N.T.S.



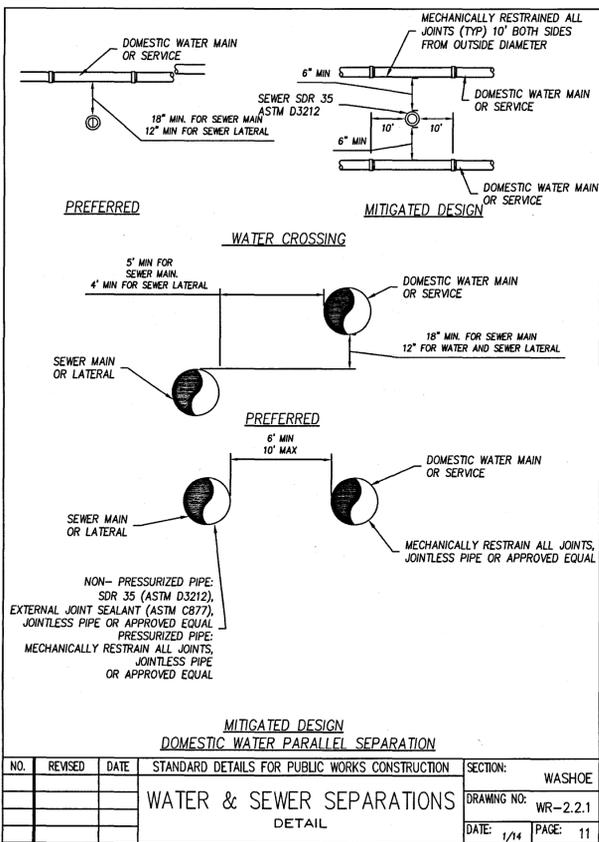
2 MANHOLE STEPS  
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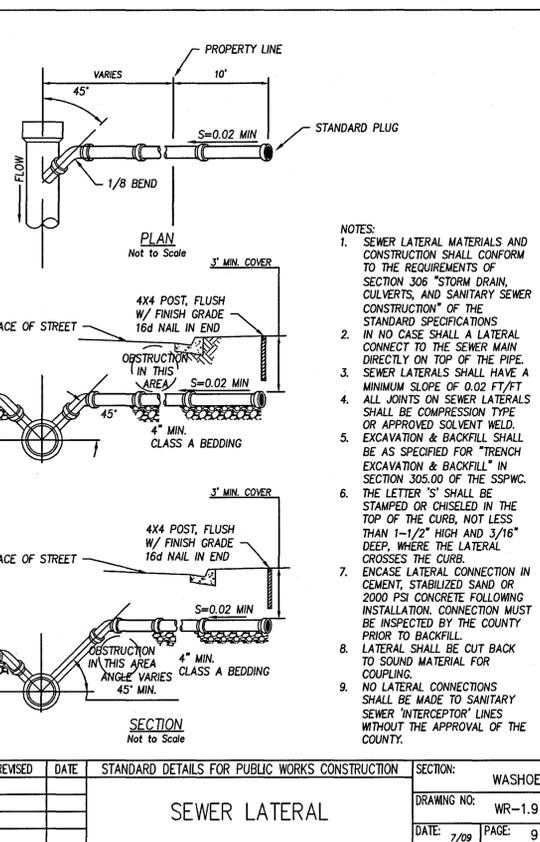
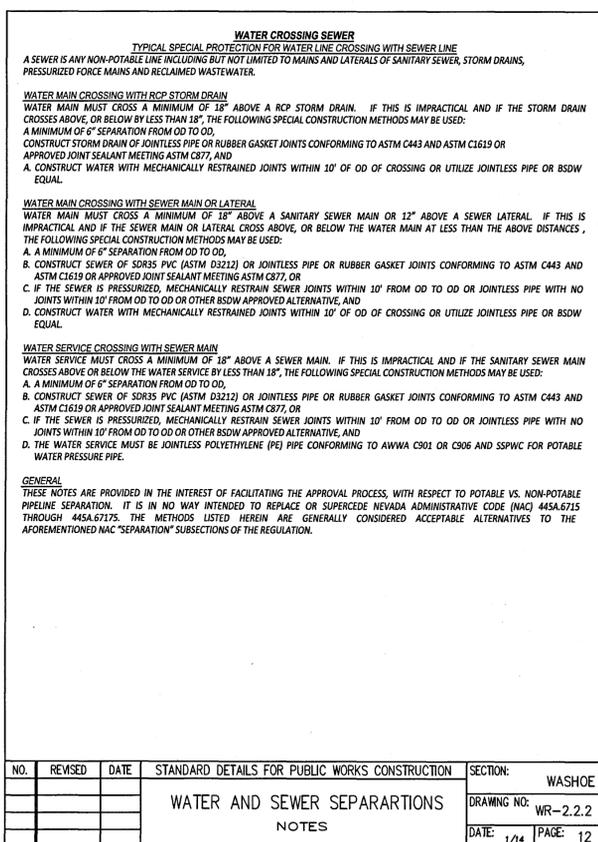
3 MANHOLE COLLAR  
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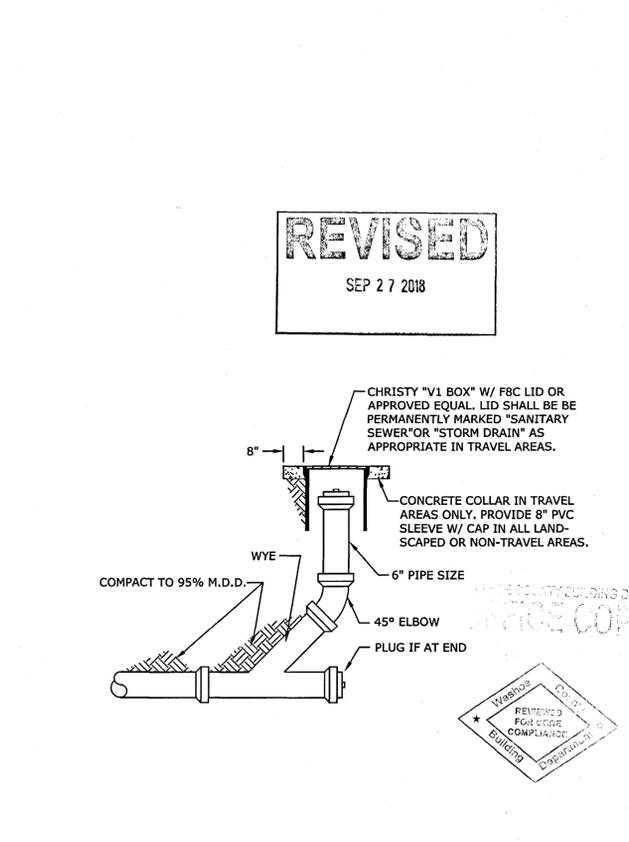
4 SEWER TRENCH DETAIL  
SCALE: N.T.S.



5 WATER / SEWER CROSSING DETAIL  
SCALE: N.T.S.



6 SEWER LATERAL DETAIL  
SCALE: N.T.S.



7 SEWER CLEAN OUT DETAIL  
SCALE: N.T.S.

AS SHOWN MUSTANG INDUSTRIAL PARK 18122\_66

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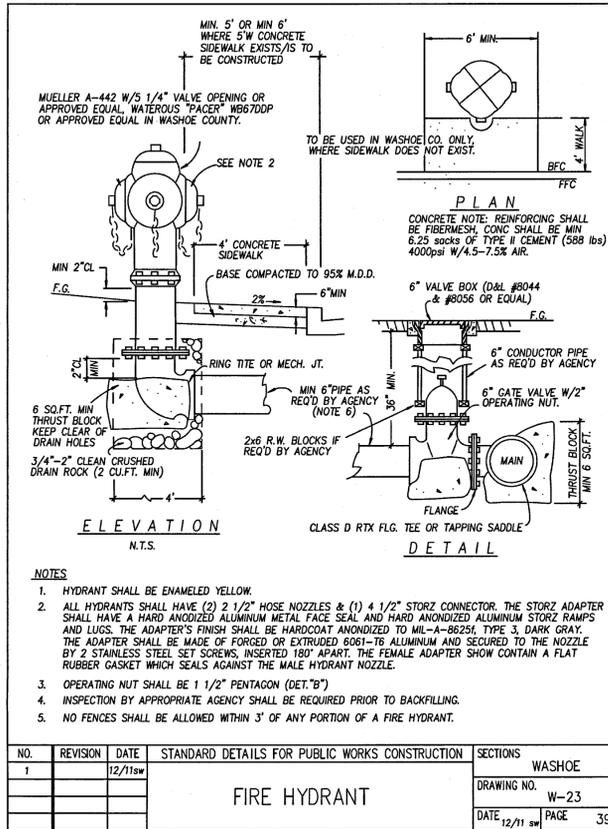
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SUBMITTAL RECORD: DATE: 06/14/16  
09/26/18

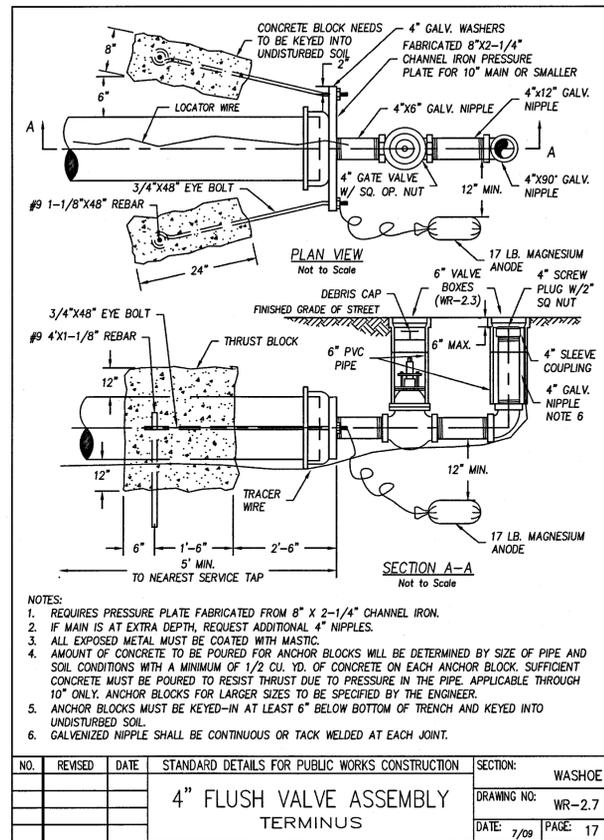
SUBMITTAL SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATES BUILDING SHIPT

SHEET TITLE: DETAIL SHEET

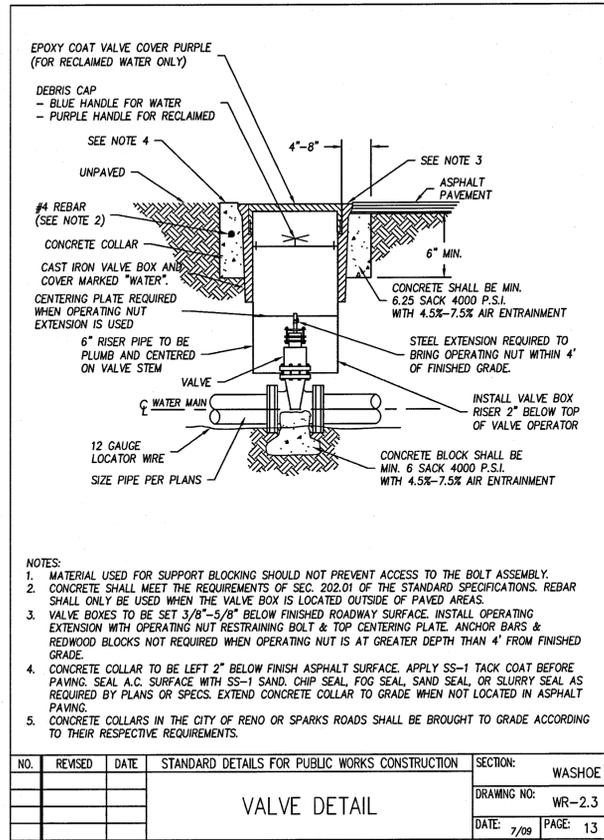
C6.6



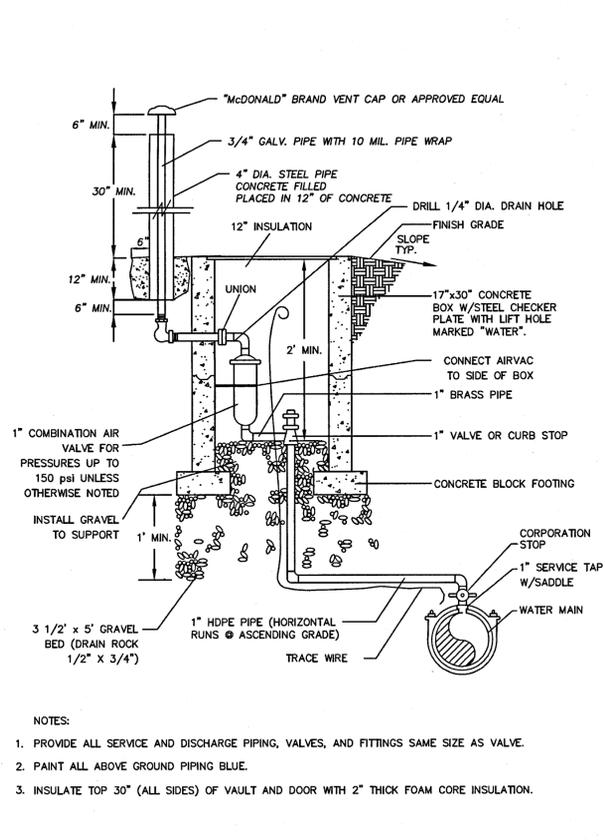
**1 FIRE HYDRANT DETAIL**  
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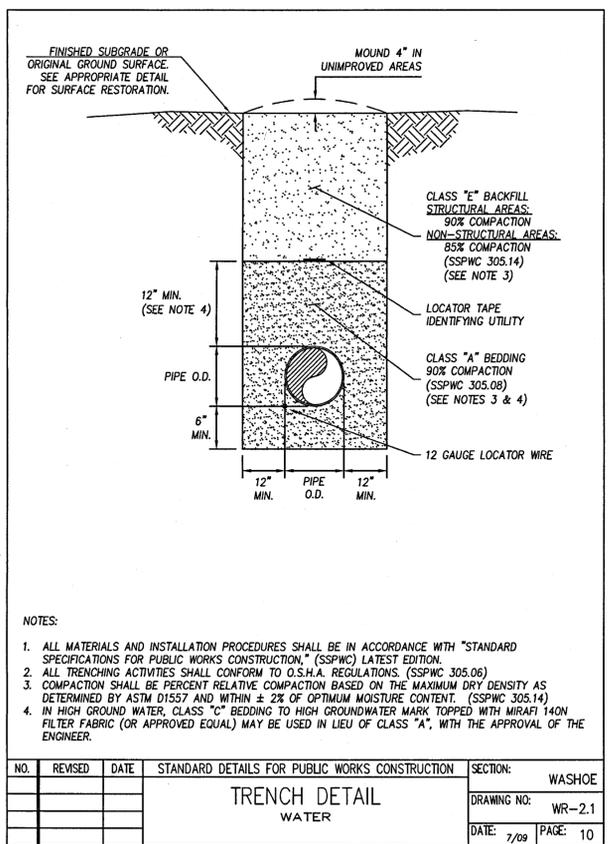
**2 FLUSH VALVE ASSEMBLY**  
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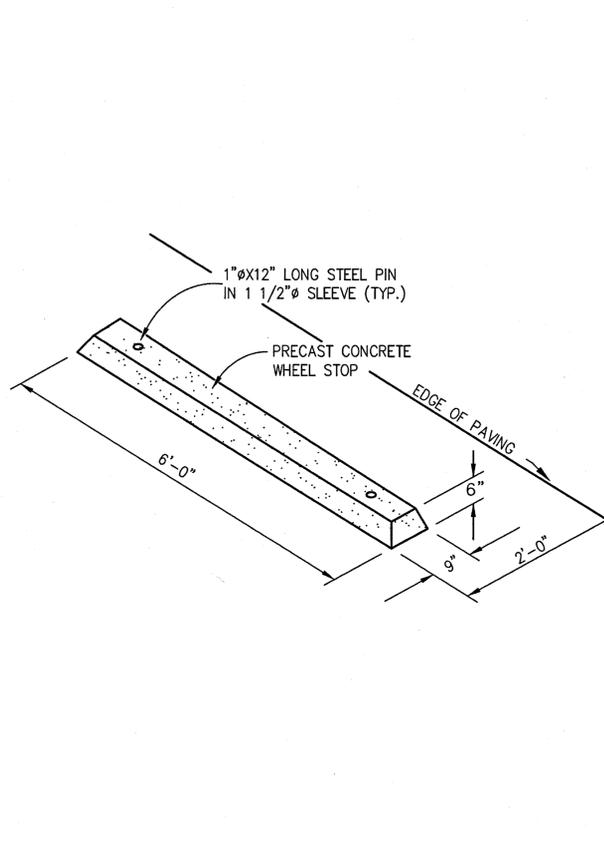
**3 VALVE DETAIL**  
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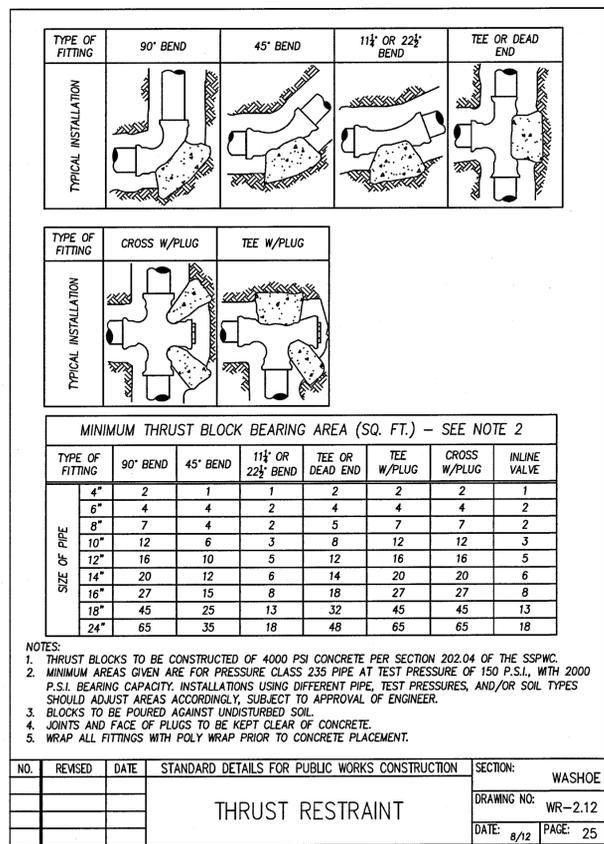
**4 AIR RELEASE VALVE DETAIL**  
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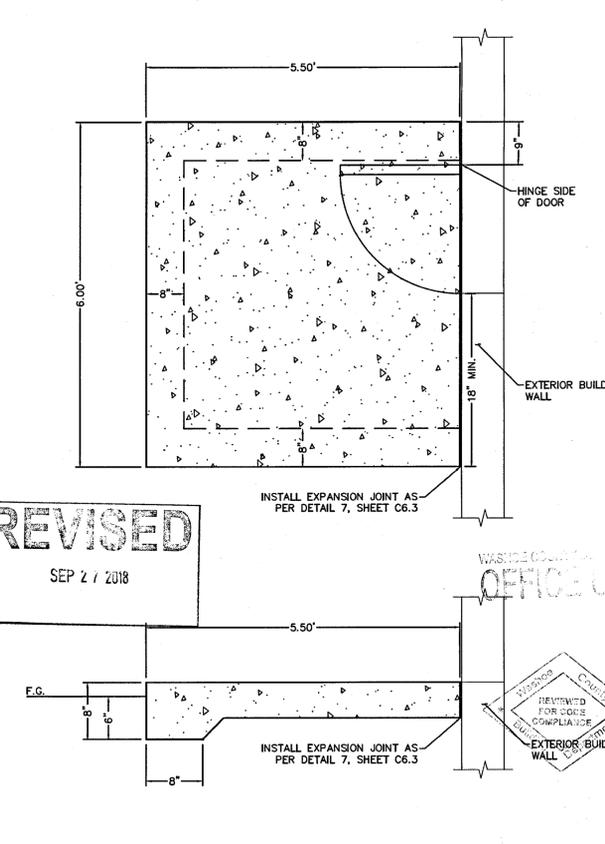
**5 WATER TRENCH DETAIL**  
SCALE: N.T.S.



**6 WHEEL STOP DETAIL**  
SCALE: N.T.S.



**7 THRUST RESTRAINT**  
SCALE: N.T.S.



**8 CONCRETE STOOP DETAIL**  
SCALE: N.T.S.

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DRAWN: J.P.B. / W.T.G.  
DESIGNED: J.P.B.  
CHECKED/STAMPED: MATT K. RASMUSSEN, P.E.

STAMP: MATTHEW RASMUSSEN CIVIL Exp. 12-31-19 No. 16258

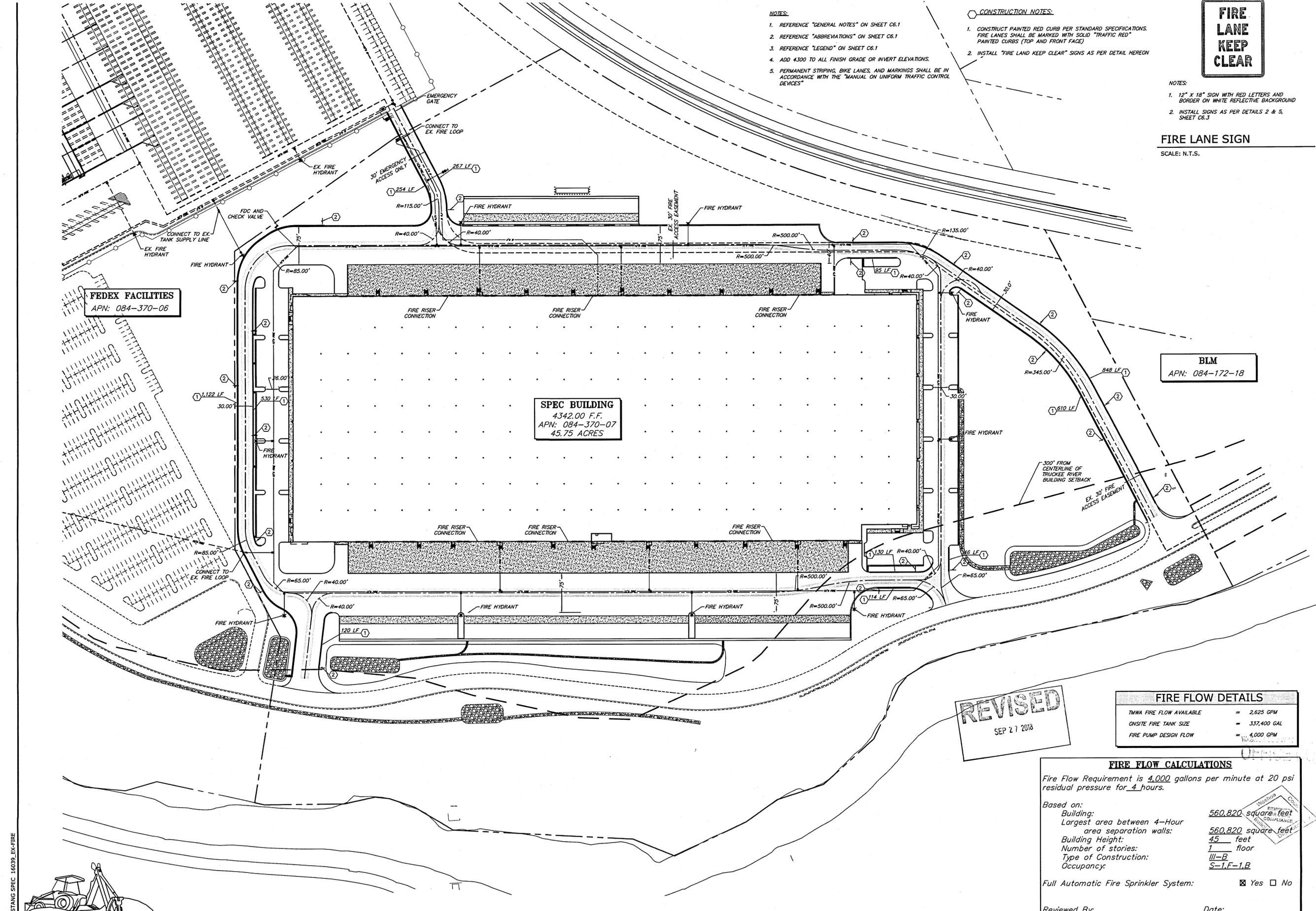
DESIGNER: TECTONICS DESIGN GROUP

PROJECT/CLIENT: MUSTANG INDUSTRIAL DEVELOPMENT Washoe County, NV  
12475 MUSTANG ROAD  
Scannell Properties  
821 Meander Court, Suite 200, Medina, Minnesota 55340

DATE: 06/14/16  
09/26/18

SUBMITTAL: SITE IMPROVEMENT PERMIT #16-1945 CLIENT UPDATE BUILDING SHIFT

SHEET TITLE: DETAIL SHEET  
C6.7



- NOTES:**
1. REFERENCE "GENERAL NOTES" ON SHEET C6.1
  2. REFERENCE "ABBREVIATIONS" ON SHEET C6.1
  3. REFERENCE "LEGEND" ON SHEET C6.1
  4. ADD 4300 TO ALL FINISH GRADE OR INVERT ELEVATIONS.
  5. PERMANENT STRIPING, BIKE LANES, AND MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"

- CONSTRUCTION NOTES:**
1. CONSTRUCT PAINTED RED CURB PER STANDARD SPECIFICATIONS. FIRE LANES SHALL BE MARKED WITH SOLID "TRAFFIC RED" PAINTED CURBS (TOP AND FRONT FACE)
  2. INSTALL "FIRE LANE KEEP CLEAR" SIGNS AS PER DETAIL HEREON



- NOTES:**
1. 12" X 18" SIGN WITH RED LETTERS AND BORDER ON WHITE REFLECTIVE BACKGROUND
  2. INSTALL SIGNS AS PER DETAILS 2 & 5, SHEET C6.3

**FIRE LANE SIGN**  
SCALE: N.T.S.

**FEDEX FACILITIES**  
APN: 084-370-06

**SPEC BUILDING**  
4342.00 F.F.  
APN: 084-370-07  
45.75 ACRES

**BLM**  
APN: 084-172-18

**REVISED**  
SEP 27 2018

FIRE FLOW DETAILS	
TWMA FIRE FLOW AVAILABLE	= 2,625 GPM
ONSITE FIRE TANK SIZE	= 337,400 GAL
FIRE PUMP DESIGN FLOW	= 4,000 GPM

FIRE FLOW CALCULATIONS	
Fire Flow Requirement is 4,000 gallons per minute at 20 psi residual pressure for 4 hours.	
Based on:	
Building:	560,820 square feet
Largest area between 4-Hour area separation walls:	560,820 square feet
Building Height:	45 feet
Number of stories:	1 floor
Type of Construction:	III-B
Occupancy:	S-1,F-1,B
Full Automatic Fire Sprinkler System:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Reviewed By:	Date:

2 DAYS BEFORE YOU DIG CALL USA TOLL FREE 1-800-227-2600

**FIRE DISPLAY - SPEC BUILDING**  
SCALE: 1" = 80'-0"



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Drawn: J.P.B. / W.T.G.  
Designed: J.P.B.  
Checked/Stamped: MATT K. RASMUSSEN, P.E.

Professional Engineer - State of Nevada  
Matthew Rasmussen  
Exp. 12-31-19  
Civil  
16255  
09/26/18

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PROJECT/CLIENT: **MUSTANG INDUSTRIAL DEVELOPMENT**  
12475 MUSTANG ROAD Washoe County, NV  
Scannell Properties  
821 Meander Court, Suite 200, Medina, Minnesota 55340

DATE: 06/14/16  
SUBMITTAL DATE: 09/26/18  
SUBMITTAL RECORD: 16255  
IMPROVEMENT PERMIT # 16-1945  
CLIENT UPDATES BUILDING SHIFT

SHEET TITLE: **FIRE CIRCULATION PLAN**

SHEET: **C7.1**